



Royal Oak

NOTICE OF CITY COMMISSION MEETING

Monday, April 8, 2024 | 7:30p.m.

Royal Oak residents, visitors to the city and vendors with business before the city commission are welcome to attend all public meetings of the city commission or remotely through viewing options listed below.

Individuals attending the meetings may participate in public comment when a public hearing is opened for comment; and/or when the member of the public has an agenda item. All individuals wishing to speak will raise their hand and after being recognized by the meeting chair, shall proceed to the lectern unless a physical impairment requires adaptive alternative. They shall state their full name (providing accurate spelling) and state the topic(s) to be discussed.

Public comment is welcome for items appearing on the agenda or any matter of city concern. Public comment is made in-person during this portion of the meeting. An individual shall be allowed to speak only once during the public comment portion of a meeting agenda or a public hearing. Speakers shall be limited to a presentation of three minutes. *

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Broadcast from City Commission Chambers 121

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Additional Information

Members of the public shall be allowed exhibits, displays and visual aids which will be used in connection with presentations of agenda items coming before the city commission at their meeting. Any member of the public desiring to distribute support materials shall *submit these to the city manager's office the Friday prior meeting.*

**Speakers requesting more than three minutes must have such period of time extended by a vote of the city commission. Any member of the public recognized by the meeting chair whose time to comment, or present has expired will be directed by the meeting chair to cease speaking. Should a second request from the meeting chair be required, the speaker shall immediately cease and failing to do so will cause removal of this individual from the meeting.*



Agenda
Royal Oak City Commission Meeting

Monday, April 8, 2024, 7:30 p.m.
City Hall Commission Chambers Room 121
203 South Troy Street
Royal Oak, MI 48067

Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the city clerk's office at 248-246-3050 at least two (2) business days prior to the meeting.

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2011 Resolution

Niccolas Grochowski, City Attorney

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Proclamation Designating May 2024 Cystic Fibrosis Awareness Month in Royal Oak

Whereas, cystic fibrosis, commonly referred to as CF, is a genetic disease affecting approximately 40,000 children and adults in the United States living with CF, and approximately 105,000 people having been diagnosed worldwide across 94 countries; and

Whereas, cystic fibrosis starts in the body with a defective gene that causes the body to produce an abnormally thick, sticky mucus that clogs the lungs, and these secretions produce life-threatening lung infections and obstruct the pancreas, preventing digestive enzymes from reaching the intestine to help break down and absorb food; and

Whereas, more than 10 million Americans are symptomless carriers of the defective gene, approximately 1,000 new cases of CF are diagnosed each year with 75 percent being diagnosed before age two and sadly people of color remain underdiagnosed in the United States and the world; and

Whereas, infant blood screening to detect genetic defects is the most reliable and least costly method to identify persons likely to have CF and early diagnosis permits earlier treatment and enhances quality of life and longevity, the treatments determined by stage and organs effected; and

Whereas, in 1989 scientists made a ground-breaking discovery of the defective CFTR gene responsible for CF. The discovery paved the way for understanding CF at a molecular level leading to development or targeted treatments including the approval of drugs that managed symptoms; and

Whereas, entering the 2000's the Cystic Fibrosis Foundation's Therapeutics Development Program made significant investments to which have led to breakthrough drug therapies aimed at the underlying genetic defect; and

Whereas, innovative treatments and access to care play a critical role for individuals with CF getting the treatments and increasing their quality and life expectancy, which in the United States in 2018 the median survival age was 41.1 and has now risen to 56 years. While areas of the world without the level of access and care the survival age is 8 years or younger; and

Whereas, the state of Michigan has eight world-class treatment centers specializing in the diagnosis and care of CF and non-profit advocacy groups, including the Bonnell Foundation in Royal Oak which have served to care, educate, and raise awareness but also to celebrate the resilience and achievements of those individuals with CF and communities supporting the fight against this challenging disease.

Now, therefore, be it resolved, I Mayor Fournier, and members of the Royal Oak City Commission on behalf of the entire Royal Oak Community do hereby proclaim May 2024 as Cystic Fibrosis Awareness Month in Royal Oak and encourage our community to seek to educate themselves about the disease and support the ongoing efforts to create a future filled with hope and one-day without cystic fibrosis.



Mayor Michael C. Fournier
City of Royal Oak



Proclamation Designating April 2024 National Poetry Month in Royal Oak

Whereas, the Academy of American Poets established the month of April as National Poetry Month; and

Whereas, National Poetry Month seeks to highlight the extraordinary legacy and ongoing achievement of American poets, introduce Americans to the pleasures and benefits of reading poetry, bring poets and poetry to the public in immediate and innovative ways, makes poetry an important part of our children's education; and

Whereas, National Poetry Month, under the leadership and direction of the Academy of American Poets, is now the largest literary celebration in the world; and

Whereas, poetry enhances and enriches the lives of all Americans; and

Whereas, poetry, as an essential part of the arts and humanities, affects every aspect of life in America today, including education, the economy, and community pride and development; and

Whereas, poetry has produced some of the nation's leading creative artists and has inspired other artists in fields such as music, theatre, film, dance, and the visual arts.

Now, therefore, be it resolved, I Mayor Fournier, and members of the Royal Oak City Commission on behalf of the Royal Oak Commission for the Arts and the entire Royal Oak Community do hereby proclaim April 1 through 30, 2024, as National Poetry Month and call upon public officials, educators, librarians, and all the people of the City of Royal Oak to observe this month and to celebrate the cultural riches our community has to offer, to recognize the important role poetry plays in creating and sustaining this great nation with appropriate ceremonies, activities, and programs.



Mayor Michael C. Fournier
City of Royal Oak



A special meeting of the Royal Oak City Commission was held on Monday, March 18, 2024 in room 122 of city hall, 203 S Troy, Royal Oak. The meeting was called to order by Mayor Fournier at 6:30 p.m. Present were Mayor Pro Tem Hunt, Commissioner Cheezum, Commissioner Douglas, Commissioner Herzog, and Commissioner Macey. Also, present were Interim City Manager Fenton, City Attorney Grochowski and City Clerk Halas.

Adjourned to Closed Session

Moved by Commissioner Douglas
Seconded by Mayor Pro Tem Hunt

Be it resolved, that the city commission hereby enters into closed session under section 8(c) of the Michigan Open Meetings Act for strategy and negotiation session connected with the negotiation of collective bargaining agreements.

ROLL CALL VOTE

Ayes: Commissioner Douglas, Commissioner Cheezum, Commissioner Macey, Commissioner Herzog, Mayor Pro Tem Hunt, and Mayor Fournier

Absent: Commissioner Kolo (6:41pm)

Adopted unanimously

A regular meeting of the Royal Oak City Commission was held on Monday, March 18, 2024 in the city hall, 203 S Troy, Royal Oak. The meeting was called to order by Mayor Fournier at 7:38 p.m.

Mayor Fournier gave the Invocation. Everyone present gave the pledge of allegiance.

ROLL CALL
Mayor
Mayor Pro Tem
Commissioners

PRESENT
Fournier
Hunt
Cheezum
Douglas
Herzog
Kolo
Macey

ABSENT

* * * * *

APPROVAL OF AGENDA

Moved by Commissioner Kolo
Seconded by Commissioner Macey

Be it resolved that the city commission hereby approves the agenda for the March 18, 2024 meeting.

Adopted unanimously

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PUBLIC COMMENT

Phyllis Salter spoke on the master plan and discussed her concerns.

Glenn Pulice, General Manager at the Royal Oak Golf Center, provided an informational hand out to the commission. It covered the history, investments, current amenities and awards/recognition of the golf center.

* * * * *

CONSENT AGENDA

Moved by Commissioner Macey
Seconded by Commissioner Herzog

Be it resolved that the city commission hereby approves the consent agenda as follows:

- a. Be it resolved that the city commission meeting minutes of March 11, 2024 are hereby approved.
- b. Be it resolved, the claims of March 19, 2024 are hereby approved.
- c. Be it resolved, the city commission approves the following requisition/purchase orders for fiscal year 2023-24:

Requisition # R007963 change order
Vendor: Miller, Canfield, Paddock, and Stone
Requesting approval for: \$13,390 additional for a total of \$58,910 Price Source: estimation
Budgeted: \$58,910
Department / Fund: attorney / general
Description: services for a class action lawsuit

Requisition # R007756
Vendor: Canfield Equipment Service, Inc.
Requesting approval for: \$55,000
Price Source: estimation (all individual purchases are less than \$10,000)
Budgeted: \$55,000
Department / Fund: motor pool / motor pool
Description: police patrol equipment & installation for new vehicles, lift gate parts, vehicle repair & maintenance services as needed

Requisition # R007842 change order
Vendor: First Choice Services
Requesting approval for: \$10,000 additional for a total of \$50,000
Price Source: estimation (all individual purchases are less than \$3,000)
Budgeted: \$50,000
Department / Fund: community promotion & court / general
Description: coffee services

Requisition # R007930 change order

Vendor: Bell Equipment Company
Requesting approval for: \$5,000 additional for a total of \$46,500
Price Source: MiDeal pricing (contract # 071B7700091)
Budgeted: \$46,500
Department / Fund: motor pool / motor pool
Description: vehicle repair & maintenance parts / repair parts for sweepers

Requisition # R007763
Vendor: D'Angelo Brothers Inc.
Requesting approval for: \$44,000
Price Source: bid by another entity (Oakland County/contract #008856)
Budgeted: \$44,000
Department / Fund: water maintenance / water & sewer
Description: lead water line replacements

Requisition # R007818
Vendor: Sonitrol Great Lakes
Requesting approval for: \$30,000
Price Source: estimation (all individual services are less than \$10,000)
Budgeted: \$30,000
Department / Fund: multiple / multiple
Description: building security services

Requisition # R007716
Vendor: TWI Tire Wholesalers
Requesting approval for: \$30,000
Price Source: estimation (all individual purchases are less than \$3,000)
Budgeted: \$30,000
Department / Fund: motor pool / motor pool
Description: tires as needed

Requisition # R007877
Vendor: Wolverine Freightliner
Requesting approval for: \$30,000
Price Source: estimation (all individual purchases are less than \$3,000)
Budgeted: \$30,000
Department / Fund: motor pool / motor pool
Description: vehicle repair & maintenance parts

* * *

Be it resolved, the city commission approves the following requisition/purchase orders for fiscal year 2023-24:

Requisition # R008283
Vendor: Millenia Technologies
Requesting approval for: \$302,870
Department / Fund: information systems / information systems

Description: phone system upgrade & contract renewal (5 yr. support & 5 yr. warranty on phones)

Requisition # R007763 change order
Vendor: D'Angelo Brothers Inc.
Requesting approval for: \$8,000 additional for a total of \$52,000
Price Source: bid by another entity (Oakland County/contract #008856)
Budgeted: \$52,000
Department / Fund: water maintenance / water & sewer
Description: lead water line replacements

Requisition # R007701
Vendor: Jordan Zuppke
Requesting approval for: \$35,000
Price Source: estimation / bid by Royal Oak
Budgeted: \$35,000
Department / Fund: indigent defense
Description: contracted legal / advisory counsel

Requisition # R008101
Vendor: Interior Environments
Requesting approval for: \$33,540
Price Source: quote (all individual purchases have been less than \$10,000)
Budgeted: \$33,540
Department / Fund: multiple / multiple
Description: office furniture

Requisition # R007794
Vendor: Cintas Corporation
Requesting approval for: \$30,000
Price Source: Omnia Partners/contract #222886
Budgeted: \$30,000
Department / Fund: multiple / multiple
Description: cleaning service for floor mats at city hall and other various city buildings

- d. Be it resolved, the city commission hereby approves the 2024 High Intensity Drug Trafficking Area subrecipient agreement; and

Be it further resolved, the city commission authorizes the mayor to execute the agreement on behalf of the city.

- e. Whereas, the mission of Oakland County and the participating jurisdiction of the City of Royal Oak include the charge to protect the health, safety, and the general welfare of the people of the County and municipalities; and

Whereas, Oakland County, Michigan, is subject to flooding, tornadoes, winter storms, and other natural, technological, and human-caused hazards; and

Whereas, pro-active mitigation of known hazards before and after a disaster event can reduce or eliminate long-term risk to life and property; and

Whereas, The Disaster Mitigation Act of 2000 (Public Law 106-390) established new requirements for pre and post-disaster hazard mitigation programs; and

Whereas, to remain eligible to receive mitigation monies, Oakland County Prepared a Hazard Mitigation Plan (the "PLAN") for the County and all communities in the County; and

WHEREAS, Oakland County and the City of Royal Oak have participated in and completed a planning process that engages the public, assesses the risk and vulnerability to the impacts of hazards, develops a mitigation strategy consistent with a set of uniform goals, and creates a plan for implementing, evaluating and revising this strategy;

NOW THEREFORE, BE IT RESOLVED, the city commission and the mayor hereby:

- 1) Adopts in its entirety the 2023 Oakland County Multi-Jurisdictional Hazard Mitigation Plan (Plan)
 - 2) Will use the adopted and approved portions of the Plan to guide pre and post-disaster mitigation of the hazards identified.
 - 3) Will coordinate the strategies identified in the Plan with other planning programs and mechanisms under its jurisdictional authority.
 - 4) Will continue to its support of the Hazard Mitigation Steering Committee and continue to participate in the planning partnership as described by the Plan.
 - 5) Will help to promote and support the mitigation successes of all planning partners.
- f. Be it resolved, that the mayor and city clerk be authorized to execute the General Consulting Engineering Services contract for the Royal Oak 2024 Material Testing and Quality Control Services Contract QCS2401 to Professional Services Industries, Inc. of Macomb, Michigan for the unit prices provided in table 2 for the period of May 1, 2024 through April 30, 2025.
- g. Be it resolved, the Royal Oak City Commission hereby awards professional engineering services for 2025 road improvement projects to Nowak and Fraus Engineers of Pontiac, Michigan, currently under contract with the city, and directs staff to issue a purchase order in the amount of \$1,344,792.
- h. Be it resolved, the Royal Oak City Commission hereby approves the request from the Cantata Academy Chorale for designation of nonprofit status from the City of Royal Oak; and
- Be it further resolved, the city clerk is authorized to certify the resolution and forward it to the State of Michigan.
- i. Be it resolved, the Royal Oak City Commission authorizes the historical commission to partner with Flyer Paranormal, LLC to conduct ghost tours at the Orson Starr House Museum between March 23 and December 31, 2024; and
- Be it further resolved, the Mayor and City Clerk are hereby authorized to execute the City of Royal Oak Orson Starr House Museum Use Agreement.
- j. Whereas, pursuant to provisions of Chapter 12, City Charter of Royal Oak, as amended, the Royal Oak City Commission may commence proceedings for the making of local public improvements within the city and determine the tentative necessity thereof without a petition; and

Whereas, the Royal Oak City Commission deems it in the public interest, health, and welfare to make certain public improvements in the city, to wit:

Special assessment 21-foot wide, 7-inch thick concrete paving with integral curb and gutter of E. Parent Avenue from Longfellow Avenue to dead end.

Now, therefore be it resolved that:

1. The city assessor be and is hereby directed to cause to be prepared a report which shall include necessary plans, profiles, specifications and detailed estimates of costs, an estimate of the life of the improvements, and a description of the public improvements, and to prepare a special assessment of the district and such other pertinent information as will permit the commission to decide the cost, extent, and necessity of the improvement proposed and what part or proportion thereof should be paid by special assessments upon the property especially benefited and what part, if any, should be paid by the city.
2. When the aforesaid report is completed, the city assessor shall file the same with the city clerk for presentation to the commission.
3. All resolutions and parts of resolutions insofar as they conflict with the provisions of this resolution be and the same hereby are rescinded.

k. Receive and File

- a. February 2024 Investment Report

Adopted unanimously

* * * * *

**MICHIGAN LIQUOR CONTROL COMMISSION – PUBLIC HEARING, ROYAL OAK RAMEN, LLC
(D.B.A. JINYA RAMEN BAR – 129 SOUTH MAIN)**

Chris Tower, attorney for the applicants, provided an overview of the plan of operation. The applicants, Mike Bailey and Tracy Garcia, also spoke about their concept and answered questions from the commissioners.

Mayor Fournier opened the public hearing. Since no one wished to speak during the public hearing, Mayor Fournier closed the public hearing.

Moved by Commissioner Kolo
Seconded by Commissioner Cheezum

Be it resolved, that the City Commission hereby approves the Plan of Operation, dated February 27, 2024, for Royal Oak Ramen, LLC d/b/a Jinya Ramen Bar, located at 129 S. Main Street, Royal Oak, Michigan.

Adopted unanimously

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PROPOSED ORDINANCE AMENDMENT 2024-04 MARIHUANA REGULATIONS FIRST READING

Moved by Commissioner Douglas
Seconded by Commissioner Kolo

BE IT RESOLVED, the city commission approves and adopts on first reading, Ordinance 2024-04 entitled an Ordinance to amend the 2008 Ordinance Adopting the Royal Oak Code of Ordinances, codifying and adopting a new Code of the City of Royal Oak by amending Section 435-4D(7), of Article I, Recreational Marihuana Establishments of Chapter 435, Marihuana, of the Code of Ordinances, City of Royal Oak, Michigan, to add provisions for obtaining additional extensions of a municipal license for marihuana establishments in the City.

Ayes: Commissioner Cheezum, Commissioner Douglas, Commissioner Herzog, Commissioner Kolo, Mayor Pro Tem Hunt and Mayor Fournier

Nays: Commissioner Macey

Motion adopted

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RESOLUTION IN SUPPORT OF STATUTORY REVENUE SHARING REFORM AS REQUESTED BY COMMISSIONER KOLO, COMMISSIONER HERZOG AND COMMISSIONER DOUGLAS

Moved by Commissioner Kolo
Seconded by Mayor Pro Tem Hunt

WHEREAS, Michigan local units of government, including the City of Royal Oak, depend significantly on State Revenue Sharing to deliver general fund services to their residents; and

WHEREAS, State Revenue Sharing in Michigan comprises constitutional and statutory allocations, with the latter being susceptible to legislative appropriations and subsequent reductions, impacting the financial stability of local governments; and

WHEREAS, the City of Royal Oak has faced substantial declines in statutory revenue sharing, jeopardizing its ability to provide essential services, a predicament echoed by numerous Michigan municipalities; and

WHEREAS, projections provided by the State of Michigan forecast a distressing trend for the City of Royal Oak, with an expected annual shortfall of approximately \$3,799,982 by 2025, alongside a cumulative deficit of \$55,748,586 since 2003; and

WHEREAS, such diminishing statutory revenue sharing imposes significant financial burdens on the City of Royal Oak and other Michigan cities, compelling them to either reduce indispensable services or escalate local taxes, adversely affecting residents; and

WHEREAS, the Headlee Amendment, ratified by Michigan voters in 1978, established limitations on local government taxation and spending, requiring voter consent for new taxes or tax increases beyond previously authorized levels, and mandated millage rate decreases when property valuations escalate faster than inflation, thereby capping property tax revenue growth potential; and

WHEREAS, the Headlee Amendment's approach of applying tax limitations based on the aggregate property valuation within a municipality rather than on individual properties has resulted in a system where local governments' financial health and their ability to serve their communities are unduly influenced by broad market fluctuations and specific property developments, complicating budget management and exacerbating financial difficulties; and

WHEREAS, amending the Headlee Amendment to apply tax limitations on a per-parcel basis would protect taxpayers from sudden tax increases while enabling local governments to more effectively generate revenue;

NOW, THEREFORE, BE IT RESOLVED, the City Commission of Royal Oak implores the Governor of Michigan, the Michigan State Legislature, and other state officials to:

- Recognize the compounded adverse effects of the Headlee Amendment and diminished statutory revenue sharing on the fiscal viability of local governments and the well-being of their residents;
- Reevaluate and reform the Headlee Amendment and statutory revenue sharing policies to ensure more reliable, adequate, and flexible funding mechanisms for local governments, thereby enabling the maintenance and enhancement of vital services without imposing excessive burdens on Michigan citizens;
- Initiate comprehensive, cooperative dialogues with local government representatives, including a coalition of Michigan cities, to develop a fairer, more sustainable model for revenue sharing and to explore adjustments to the Headlee Amendment that more effectively accommodate the needs of Michigan's communities while still protecting taxpayers from undue tax increases; and

BE IT FURTHER RESOLVED, the City Commission of Royal Oak encourages other Michigan municipalities to endorse similar resolutions, thereby forming a collective voice to effectively address and advocate for these critical financial reforms; and

BE IT FURTHER RESOLVED, a copy of this Resolution is to be dispatched to the Governor of the State of Michigan, the State Senate Majority & Minority leaders, the State House Speaker & Minority leader, and Senators Chang and McMorro, as well as Representatives MacDonell, Price, Scott, & Weiss, endorsing this call for action.

Adopted unanimously

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**RESOLUTION IN SUPPORT OF PROTECT MI KIDS BILL PACKAGE AS REQUESTED BY
COMMISSIONER KOLO, COMMISSIONER HERZOG AND MAYOR PRO TEM HUNT**

Moved by Commissioner Kolo

Seconded by Commissioner Douglas

WHEREAS, the City of Royal Oak, committed to safeguarding the health and well-being of its community, recognizes the adverse impacts of tobacco use on its residents, particularly its youth; and

WHEREAS, Michigan, as a part of "Tobacco Nation," sees higher rates of tobacco use and related diseases, contributing to 16,200 deaths annually and over \$5.33 billion in healthcare costs, which necessitates urgent action to combat this public health crisis; and

WHEREAS, the Royal Oak City Commission notes with concern the increasing incidence of vaping among students within the Royal Oak School District, to the extent that the district has been compelled to limit the number of restrooms accessible to students in an effort to curb vaping at the high school; and

WHEREAS, within the past year, popular smoke shops in Royal Oak have been cited multiple times for illegal sales of tobacco products to minors, underscoring the critical need for stronger local oversight and enforcement capabilities to protect our youth from these harmful products; and

WHEREAS, the City of Royal Oak finds itself constrained by state law, which preempts local governments from enacting or enforcing ordinances that regulate the sale, distribution, and licensing of tobacco products, leaving our community powerless to take meaningful action against businesses that repeatedly violate the law by selling tobacco to minors; and

WHEREAS, the proposed Protect MI Kids Bill Package, comprising Senate Bills 647 through 654, offers comprehensive reform with measures such as enabling local control over tobacco sales, instituting taxes on e-cigarettes, banning flavored tobacco products, and establishing a statewide Tobacco Retail Licensing program, thereby representing a pivotal step towards mitigating tobacco use among Michigan's youth; and

WHEREAS, the Protect MI Kids Bill Package directly addresses the challenges faced by communities like Royal Oak in protecting their young citizens from the allure and addiction of tobacco products, with specific emphasis on the insidious spread of vaping among school-aged children;

WHEREAS, amending the Headlee Amendment to apply tax limitations on a per-parcel basis would protect taxpayers from sudden tax increases while enabling local governments to more effectively generate revenue;

NOW, THEREFORE, BE IT RESOLVED, that the Royal Oak City Commission expresses its unwavering support for the Protect MI Kids Bill Package and urges the Michigan Legislature to enact these crucial measures without delay, to empower local jurisdictions in their fight against tobacco and ensure the health and safety of all Michigan's children, including those in the Royal Oak community; and

BE IT FURTHER RESOLVED, that advocates for the removal of many of the local preemptions in state law, thereby granting municipalities like Royal Oak the authority to enact and enforce local regulations aimed at preventing the sale of tobacco products to minors and addressing the public health crisis posed by tobacco use among the youth; and

BE IT FURTHER RESOLVED, a copy of this Resolution is to be dispatched to the Governor of the State of Michigan, the State Senate Majority & Minority leaders, the State House Speaker & Minority leader, and Senators Chang, McMorro, and Moss, as well as Representatives MacDonell, Price, Scott, & Weiss, endorsing this call for action.

* * *

Upon motion of Commissioner Macey, seconded by Commissioner Herzog, and adopted unanimously, the regular meeting was adjourned at 8:25 p.m.

Melanie Halas, City Clerk

The foregoing minutes of the regular meeting held on March 18, 2024 having been officially approved by the city commission on Monday, April 8, 2024 are hereby signed this eighth day of April 2024.

Michael C. Fournier, Mayor

DRAFT

Exhibit A

**ORDINANCE NO. 2024-04
CITY OF ROYAL OAK,
OAKLAND COUNTY, MICHIGAN**

AMENDMENT TO THE CODE OF ORDINANCES

An Ordinance to amend the 2008 Ordinance Adopting the Royal Oak Code of Ordinances, codifying and adopting a new Code of the City of Royal Oak by amending Section 435-4D(7), of Article I, Recreational Marihuana Establishments of Chapter 435, Marihuana, of the Code of Ordinances, City of Royal Oak, Michigan, to add provisions for obtaining additional extensions of a municipal license for marihuana establishments in the City.

THE CITY OF ROYAL OAK ORDAINS:

SECTION 1. Amendment

That Section 435-4D(7), of Article I, Recreational Marihuana Establishments of Chapter 435, Marihuana, of the Code of Ordinances, City of Royal Oak, Michigan, is hereby amended, to read as follows:

Sec. 435-4D(7)

(7) If all the condition of the article have been met, the City Clerk shall issue the municipal license to the applicant.

(a) All municipal licenses issued have the following stipulations:

- [1] Issuance of license qualification by the State of Michigan for the municipal license holder under state law and the City of Royal Oak receiving a copy of that license qualification prior to occupancy.
- [2] Issuance of final certificate of occupancy for the municipally licensed premises by the Community Development Department. All construction must be in accordance with applicable zoning ordinances, building codes, and any other applicable state or local laws, rules, or regulations.
- [3] For processors and Class A, B, and C growers and microbusinesses proposing to connect to or to contribute to the POTW, a wastewater discharge permit.
- [4] Issuance of final approval by the State of Michigan and the City of Royal Oak receiving a copy of the final approval prior to the business opening.

(b) A municipal license holder has one year from the date of issuance to meet all stipulations of the municipal license. If all stipulations are not met in this time frame, the municipal license is revoked and considered denied. A municipal license holder may request one extension not to exceed six months from the license's original expiration date, which may be granted by the City Clerk.

- (c) If a municipal license holder obtains a first extension but has not met all stipulations of the municipal license at the end of the extended period, it may request up to four additional subsequent extensions not to exceed six months from the end of each extended period, upon payment of the non-refundable application fee for the municipal license renewal. The City Clerk may grant an extension only upon receipt of written evidence supplied by the municipal license holder that either of the following conditions exists:

[1] The license holder has a current, unexpired building permit and is actively engaged in construction of the approved improvements on the municipally licensed property. For purposes of this subparagraph, "actively engaged in construction" means that the license holder demonstrates that workers are on site performing construction and are being paid for their work, and that the license holder has complied with all conditions of the building permit, including but not limited to obtaining regular, required inspections.

[2] All approved improvements on the municipally licensed property are complete, the license holder has applied to the Department for a state marijuana license, and the license holder has not received a response to its application from the Department. If the municipal license holder receives a state license from the Department, the renewal fee paid with the request for a second extension shall be valid for one year from the effective date of the state license.

If neither of the foregoing conditions exists, the municipal license is revoked and considered denied at the end of the first extension period.

SECTION 2. Repealer.

All ordinances, or parts of ordinances, in conflict with this ordinance are repealed only to the extent necessary to give this ordinance full force and effect.

SECTION 3. Severability.

Should any section, subdivision, clause, or phrase of this ordinance be declared by the other courts to be invalid, the validity of the ordinance as a whole, or in part, shall not be affected other than the part invalidated.

SECTION 4. Savings.

All proceedings pending and all rights and liabilities existing, acquired or incurred at the time this ordinance takes effect, are saved and may be consummated according to the law in force when they were commenced.

SECTION 5. Effective date.

The ordinance as ordered shall take effect ten (10) days after its adoption and upon publication.

SECTION 6. Inspection.

A copy of this ordinance may be inspected or purchased at the city clerk's office between the hours of 8:00 a.m. and 4:30 p.m. on regular business days and between the hours of 8:00 a.m. and 12:00 p.m. on Fridays.

CITY COMMISSION AGENDA ITEM

Title	Appointments Committee Recommendations
SUBMITTING DEPARTMENT	City Clerk
PRESENTER	Melanie Halas, City Clerk
MEETING DATE	April 8, 2024

The appointments committee met on March 18, 2024, to discuss appointments. The following resolution is brought forward to you for approval.

ALIGNMENT WITH COMMISSION APPROVED PLANS, POLICIES, AND PROGRAMS

Provide a description of how this item aligns with the strategic plan, aging in place plan, and sustainability and climate action plans. Include any specific goals or action steps it supports.

Strategic Plan 1.3 calls for the city to provide opportunities for volunteerism and participation. Our boards and commissions support this effort by engaging residents in the decision making process.

PROPOSED COMMISSION RESOLUTION:

Be it resolved, the city commission hereby approves to fill the following vacancies:

Name	Committee	Term
Gerardo Aponte-Safe	Human Rights Commission	12/31/2024
Nick Tolfree	Veterans Events Committee	12/31/2026

PAYROLL #587PAYROLL DATE: 03/22/24**HUNTINGTON - PAYROLL**

DIRECT DEPOSIT \$819,739.00

PAPER CHECK

ADJUSTMENTS

\$819,739.00**ELECTRONIC MONEY TRANSFER - ACH**

IRS

FED. W/H	106,491.46
SOC SEC	82,008.18
MEDICARE	33,422.82

221,922.46

STATE OF MICHIGAN TREASURY

42,840.00

FRIEND OF THE COURT

2,659.54

MISSIONSQUARE

110,890.35

NATIONWIDE

39,147.47

MERS

26,344.88

TASC

10,385.21**ACCOUNTS PAYABLE - CHECKS**

MICHIGAN EDUCATION TRUST

-

MISC DEDUCTIONS

230.13

UNION DUES

PSA	-
POA	-
Command	-
Detectives	-
DPS	-
Fire	-
TPOAM	-
Parking	-

-

UNION DUES

GRAND TOTAL**\$ 1,274,159.04**

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Vendor Code	Vendor Name	Description	Amount
	Invoice		
00001	44TH DISTRICT COURT		
	03192024	PETTY CASH - COURT	63.98
TOTAL FOR: 44TH DISTRICT COURT			63.98
00004	A & M SERVICE CENTER		
	139832	TOWING SERVICES	450.00
	79265	TOWING SERVICES #818	45.00
	81279	TOWING SERVICES #818	45.00
	81576	TOWING CLEAN-UP CHARGE REPORT #24-9394	45.00
TOTAL FOR: A & M SERVICE CENTER			585.00
19164	ABELLA STONE DBA MICHIGAN LIMESTONE		
	1285873	DEPOSIT HAMER FINCH WILKINS PARK SCULPTURE BASE	2,000.00
TOTAL FOR: ABELLA STONE DBA MICHIGAN LIMESTONE			2,000.00
08233	ABR ALPINE DESIGN		
	2879 3/25/24	HOUSING REHAB	21,105.00
TOTAL FOR: ABR ALPINE DESIGN			21,105.00
02044	ACTION MAT & TOWEL RENTAL		
	595019	MAT RENTALS	288.11
	597264	MAT RENTALS	288.11
TOTAL FOR: ACTION MAT & TOWEL RENTAL			576.22
14207	ACTIVE INTEREST MEDIA		
	489581	FARMERS MKT DON'T MISS AD	500.00
TOTAL FOR: ACTIVE INTEREST MEDIA			500.00
00043	AIS CONSTRUCTION EQUIPMENT		
	D56619	PURCHASE OF PARTS 8850447606	513.91
	D56731	PURCHASE OF PARTS 8850447606	53.41
	D57384	PURCHASE OF PARTS 8850447606	1,157.40
TOTAL FOR: AIS CONSTRUCTION EQUIPMENT			1,724.72
00044	AJAX MATERIALS CORPORATION		
	295868	ASPHALT SUPPLIES	7,259.00
TOTAL FOR: AJAX MATERIALS CORPORATION			7,259.00
03340	ALLIANCE ENTERTAINMENT LLC		
	PLS78477445	LIBRARY AUDIO & VIDEO RESOURCES	89.16
	PLS79060720	LIBRARY AUDIO & VIDEO RESOURCES	219.67
TOTAL FOR: ALLIANCE ENTERTAINMENT LLC			308.83
19116	SHERRY ALVARADO		
	02262024	JUROR FEE	17.00
TOTAL FOR: SHERRY ALVARADO			17.00

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Vendor Code	Vendor Name	Description	Amount
Invoice			
17165	AMAZON CAPITAL SERVICES		
	131D-PGR9-3TQV	LIBRARY SUPPLIES	19.99
	131D-PGR9-XCVF	LIBRARY SUPPLIES	129.19
	177K-4Q7L-KDV9	LIBRARY SUPPLIES	49.22
	17WW-XYPP-HXQ4	LIBRARY SUPPLIES	40.13
	191D-RX1X-16LW	LIBRARY SUPPLIES	22.49
	1DPW-DGP1-XYM4	LIBRARY SUPPLIES	8.15
	1DRJ-RT91-477D	LIBRARY SUPPLIES	179.74
	1GY7-XWQV-NMYN	LIBRARY SUPPLIES	24.96
	1HRP-N196-1W3M	LIBRARY SUPPLIES	141.99
	1K41-G1VP-47TC	LIBRARY SUPPLIES	33.98
	1KYX-L4WR-JRL4	LIBRARY SUPPLIES	27.95
	1LLF-CV9Y-G79Y	LIBRARY SUPPLIES	15.50
	1LYD-DYJR-MX6N	LIBRARY SUPPLIES	46.14
	1NWN-TYLV-7M1K	LIBRARY SUPPLIES	240.25
	1VNF-7MYX-JCFX	LIBRARY SUPPLIES	44.55
	1W3L-LWT4-1Q7R	LIBRARY SUPPLIES	25.46
	1YD7-L3LW-61MP	LIBRARY SUPPLIES	61.09
TOTAL FOR: AMAZON CAPITAL SERVICES			1,110.78
15122	AMERICAN ATHLETIX		
	1074-PARTS	PLAYGROUND EQUIPMENT LAWSON PARK	101.55
TOTAL FOR: AMERICAN ATHLETIX			101.55
06934	AMERICAN INTEGRATED SUPPLY LLC		
	367706	SIGN MATERIALS	316.43
	367912	SIGN MATERIALS	64.98
TOTAL FOR: AMERICAN INTEGRATED SUPPLY LLC			381.41
06705	ANDERSEN MATERIAL HANDLING		
	10721417	CLERK EQUIPMENT REPAIR SERVICE	289.40
TOTAL FOR: ANDERSEN MATERIAL HANDLING			289.40
05423	JOHN ANGOTT		
	1FEBARR24	COUNCIL COORDINATOR OF CONTRACTED LEGAL/ADVISORY CO	2,160.00
	1FEBOD24	COUNCIL COORDINATOR OF CONTRACTED LEGAL/ADVISORY CO	600.00
	1FEBVOP24	COUNCIL COORDINATOR OF CONTRACTED LEGAL/ADVISORY CO	540.00
	2FEBOD24	COUNCIL COORDINATOR OF CONTRACTED LEGAL/ADVISORY CO	540.00
	2FEBVOP24	COUNCIL COORDINATOR OF CONTRACTED LEGAL/ADVISORY CO	540.00
	3FEBOD24	COUNCIL COORDINATOR OF CONTRACTED LEGAL/ADVISORY CO	570.00
	3FEBVOP24	COUNCIL COORDINATOR OF CONTRACTED LEGAL/ADVISORY CO	570.00
	4FEBOD24	COUNCIL COORDINATOR OF CONTRACTED LEGAL/ADVISORY CO	600.00
TOTAL FOR: JOHN ANGOTT			6,120.00
18754	JOSHUA P. APRILE		
	24RO00056 FNL	MIDC COUNSEL	76.00
TOTAL FOR: JOSHUA P. APRILE			76.00
19170	ARAB AMERICAN NATIONAL MUSEUM		
	408024	LIBRARY PRESENTATION APRIL 8	590.00
TOTAL FOR: ARAB AMERICAN NATIONAL MUSEUM			590.00
00018	AT & T		
	248336917003 24	203 S TROY ST FEB 11-MAR 10	3,129.13
TOTAL FOR: AT & T			3,129.13
RBOND	BABI CONSTRUCTION, INC		
	BB45776	BD Bond Refund	750.00
	BB45802	BD Bond Refund	1,250.00
	BB46110	BD Bond Refund	1,250.00
	BB46126	BD Bond Refund	1,250.00
TOTAL FOR: BABI CONSTRUCTION, INC			4,500.00

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Vendor Code	Vendor Name	Description	Amount
Invoice			
14650	BRUCE BALL		
2023-24		BOOT ALLOWANCE	200.34
TOTAL FOR: BRUCE BALL			200.34
16499	MATTHEW BALL		
MB001		SENIOR CTR PIANO SHOW APRIL 16	300.00
TOTAL FOR: MATTHEW BALL			300.00
19117	ELIZABETH BAYER		
02262024		JUROR FEE	17.00
TOTAL FOR: ELIZABETH BAYER			17.00
07210	BEAVER RESEARCH COMPANY		
0368756-IN		MOTOR POOL CLEANING SUPPLIES	414.00
TOTAL FOR: BEAVER RESEARCH COMPANY			414.00
RBOND	BEDIENT CONSTRUCTION INC		
BB46013		BD Bond Refund	1,250.00
BB46146		BD Bond Refund	1,250.00
TOTAL FOR: BEDIENT CONSTRUCTION INC			2,500.00
00136	BELL EQUIPMENT COMPANY		
P23145		VEHICLE REPAIR & MAINTENANCE PARTS	610.76
P23175		VEHICLE REPAIR & MAINTENANCE PARTS	68.79
P23233		VEHICLE REPAIR & MAINTENANCE PARTS	53.14
P23281		VEHICLE REPAIR & MAINTENANCE PARTS	178.65
P23381		VEHICLE REPAIR & MAINTENANCE PARTS	1,079.22
P23382		VEHICLE REPAIR & MAINTENANCE PARTS	680.39
P23411		VEHICLE REPAIR & MAINTENANCE PARTS	42.50
TOTAL FOR: BELL EQUIPMENT COMPANY			2,713.45
19146	AUSTIN BERKEEN		
03182024		DOG LICENSE OVERPAYMENT (PAID FOR 3-YR, CAN ONLY GE	13.00
TOTAL FOR: AUSTIN BERKEEN			13.00
19118	LINNEA BERRIMAN		
02262024		JUROR FEE	17.00
TOTAL FOR: LINNEA BERRIMAN			17.00
00141	BIANCO TRAVEL & TOURS INC		
3D97999		SENIOR CTR DAY TRIP SOLANUS CASEY CENTER MARCH 20	1,264.00
TOTAL FOR: BIANCO TRAVEL & TOURS INC			1,264.00
14833	BIG BELLY SOLAR, LLC.		
50725		HIGH CAPACITY REFUSE/RECYCLING STATION 3/16-4/15 20	1,895.94
50765		HIGH CAPACITY REFUSE/RECYCLING STATION3/22-4/21 202	504.00
TOTAL FOR: BIG BELLY SOLAR, LLC.			2,399.94
00143	BIG D LOCK & KEY		
7551		PARKING DEPT LATCH PROTECTORS	65.00
7564		SENIOR CTR COOLER LOCK	26.50
TOTAL FOR: BIG D LOCK & KEY			91.50

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Vendor Code	Vendor Name	Description	Amount
	Invoice		
15622	JO ANNE BIGLER		
	23BE03391 FNL	MIDC COUNSEL	495.00
	23BE04751 FNL	MIDC COUNSEL	450.00
	23R001657 BW	MIDC COUNSEL	180.00
	23R006167B FNL	MIDC COUNSEL	240.00
	23R006180 FNL	MIDC COUNSEL	180.00
	23R006314 FNL	MIDC COUNSEL	360.00
	23R006880 FNL	MIDC COUNSEL	420.00
	23R007020 FNL	MIDC COUNSEL	270.00
	23R007049 FNL	MIDC COUNSEL	150.00
	23R007730 FNL	MIDC COUNSEL	90.00
	24R-00016 FNL	MIDC COUNSEL	150.00
	SP4232890 FNL	MIDC COUNSEL	120.00
TOTAL FOR: JO ANNE BIGLER			3,105.00
00145	BILLINGS LAWN EQUIPMENT		
	460953	P&F CHAINSAW PARTS, OIL	422.15
	461163	P&F FIELD PAINTER PARTS	23.61
TOTAL FOR: BILLINGS LAWN EQUIPMENT			445.76
12813	BISTRO 82		
	03202024	BISTRO 82 - SIDEWALK CAFE REFUND	200.00
TOTAL FOR: BISTRO 82			200.00
19119	RYAN BIZZIS		
	02262024	JUROR FEE	17.00
TOTAL FOR: RYAN BIZZIS			17.00
14214	JOHN BLAKE		
	5986	ROSES	28.50
	5988	ROSES	103.50
	5989	ROSES	37.50
	5990	ROSES	97.50
	5991	ROSES	32.00
TOTAL FOR: JOHN BLAKE			299.00
15680	EDITH BLAKNEY LAW FIRM, PLLC		
	1MARSCH24	MIDC COUNSEL	720.00
	23BE06584 FNL	MIDC COUNSEL	420.00
	23R-01482 FNL	MIDC COUNSEL	1,080.00
	23R005900 FNL	MIDC COUNSEL	840.00
	SP4313380A FNL	MIDC COUNSEL	216.00
TOTAL FOR: EDITH BLAKNEY LAW FIRM, PLLC			3,276.00
12807	BLAZE PIZZA		
	03202024	BLAZE PIZZA - SIDEWALK CAFE REFUND	200.00
TOTAL FOR: BLAZE PIZZA			200.00
19037	ANNABELLA BLOOM		
	03122024	SPRING SWIM PROGRAM	703.84
TOTAL FOR: ANNABELLA BLOOM			703.84

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Vendor Code	Vendor Name	Description	Amount
Invoice			
18695	BLUE CROSS BLUE SHIELD OF MICHIGAN		
240306608643	MEDICARE PLUS BLUE PPO APR 2024		4,433.05
240306608644	MEDICARE PLUS BLUE PPO APR 2024		2,953.41
240306608645	MEDICARE PLUS BLUE PPO APR 2024		2,458.08
240306608646	MEDICARE PLUS BLUE PPO APR 2024		8,487.05
240306608647	MEDICARE PLUS BLUE PPO APR 2024		68,222.60
240306608648	MEDICARE PLUS BLUE PPO APR 2024		3,868.35
240306608649	MEDICARE PLUS BLUE PPO APR 2024		217.85
240306608650	MEDICARE PLUS BLUE PPO APR 2024		4,342.95
240306608651	MEDICARE PLUS BLUE PPO APR 2024		344.64
240306608652	MEDICARE PLUS BLUE PPO APR 2024		151.52
TOTAL FOR: BLUE CROSS BLUE SHIELD OF MICHIGAN			95,479.50
19053	BOB MAXEY FORD		
2024-F001	REPLACEMENT #843 - 2024 FORD EXPLORER VIN ENDING GA		43,475.00
TOTAL FOR: BOB MAXEY FORD			43,475.00
06058	HILLARIE F BOETTGER		
23R007790 FNL	MIDC COUNSEL		90.00
TOTAL FOR: HILLARIE F BOETTGER			90.00
19120	KEGAN BORLAND		
02262024	JUROR FEE		17.00
TOTAL FOR: KEGAN BORLAND			17.00
17908	YOLANDA BOTELLO		
BOTEL 30565	REIMBURSE MILEAGE 12/27/23-3/21/24		305.65
TOTAL FOR: YOLANDA BOTELLO			305.65
01032	BOUND TREE MEDICAL LLC		
85278577	FIRE & EMS SUPPLIES		533.18
85282571	FIRE & EMS SUPPLIES		65.50
TOTAL FOR: BOUND TREE MEDICAL LLC			598.68
05729	JAMES PATRICK BRENNAN		
23BE02128 FNL	MIDC COUNSEL		420.00
TOTAL FOR: JAMES PATRICK BRENNAN			420.00
19090	SOPHIA BREWSTER		
03122024	SPRING SWIM PROGRAM		703.84
TOTAL FOR: SOPHIA BREWSTER			703.84
19089	ALEXANDER BUCKHEIM		
03122024	SPRING SWIM PROGRAM		703.84
TOTAL FOR: ALEXANDER BUCKHEIM			703.84
19047	MOLLY ANNE BUCKHEIM		
03122024	SPRING SWIM PROGRAM		703.84
TOTAL FOR: MOLLY ANNE BUCKHEIM			703.84
19039	TOBY BUCKHEIM		
03122024	SPRING SWIM PROGRAM, HIGH SCHOOL LIFEGUARD 15 HRS		958.84
TOTAL FOR: TOBY BUCKHEIM			958.84
03586	C & G NEWSPAPERS		
0017850-IN	FARMERS MKT 1/3 - WT AD		348.20
TOTAL FOR: C & G NEWSPAPERS			348.20

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19121	JEVREM CADENOVIC	02262024	JUROR FEE	17.00
TOTAL FOR: JEVREM CADENOVIC				17.00
19122	LAWRENCE CALDWELL	02262024	JUROR FEE	17.00
TOTAL FOR: LAWRENCE CALDWELL				17.00
00211	CANFIELD EQUIPMENT SERVICE INC	294068	EQUIPMENT REPAIR & MAINTENANCE SERVICES	5,326.49
TOTAL FOR: CANFIELD EQUIPMENT SERVICE INC				5,326.49
19123	JAMES CARLIN	02262024	JUROR FEE	17.00
TOTAL FOR: JAMES CARLIN				17.00
00222	CARRIER & GABLE INC	IN39066	ELECTRICAL SUPPLIES FOR TRAFFIC SIGNALS	620.75
		IN39067	ELECTRICAL SUPPLIES FOR TRAFFIC SIGNALS	2,618.00
TOTAL FOR: CARRIER & GABLE INC				3,238.75
07427	LEAH CASTILLO	6803	ROSES	135.00
		6804	ROSES	135.00
TOTAL FOR: LEAH CASTILLO				270.00
16475	CGS, INC.	5332	DPS AERIAL WORK PLATFORM TRAINING	925.00
TOTAL FOR: CGS, INC.				925.00
14419	CHARDON LABORATORIES, INC	026124	ARENA COOLING TOWER CHEMICALS, SERVICE	280.00
TOTAL FOR: CHARDON LABORATORIES, INC				280.00
03756	ELIZABETH CHIAPPELLI	1MAROD24	MIDC COUNSEL	720.00
		2MAROD24	MIDC COUNSEL	720.00
		4FEBOD24	MIDC COUNSEL	720.00
TOTAL FOR: ELIZABETH CHIAPPELLI				2,160.00
RBOND	CHRISTOPHER MICHAEL LALAMA	00255071	BD Payment Refund	168.00
TOTAL FOR: CHRISTOPHER MICHAEL LALAMA				168.00
06036	SUSAN CHRZANOWSKI COLE	23B-01802 FNL	MIDC COUNSEL	450.00
		23BE06609 FNL	MIDC COUNSEL	240.00
		23R-02176 FNL	MIDC COUNSEL	330.00
		23RO07969 FNL	MIDC COUNSEL	150.00
		D371782 FNL	MIDC COUNSEL	210.00
TOTAL FOR: SUSAN CHRZANOWSKI COLE				1,380.00
13864	MARINA CHUPAC PLLC	23RO07695 FNL	MIDC COUNSEL	165.00
		23RO07956 FNL	MIDC COUNSEL	135.00
TOTAL FOR: MARINA CHUPAC PLLC				300.00

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Vendor Code	Vendor Name	Description	Amount
Invoice			
06649	CINTAS CORPORATION LOC 031		
4184949709		COURT MAT CLEANING	62.75
4185710588		COURT MAT CLEANING	62.75
4186122928		FIRST AID SUPPLIES DPS	205.89
4186692023		SENIOR CTR MAT CLEANING	44.14
4186693932		LIBRARY MAT CLEANING	25.00
4186844954		DPS MAT CLEANING	197.92
4187408358		SENIOR CTR MAT CLEANING	44.14
5201512522		FIRST AID SUPPLIES NORMANDY OAKS PARK	174.83
5202127306		FIRST AID SUPPLIES 300 S CENTER PARKING	48.16
5202310859		FIRST AID SUPPLIES SALTER CTR	59.63
5202741915		P&F DISPOSABLE GLOVES	200.00
TOTAL FOR: CINTAS CORPORATION LOC 031			1,125.21
02754	CITY OF BERKLEY		
0000025723		MARCH 2024 ANIMAL CONTROL SERVICES	4,452.43
TOTAL FOR: CITY OF BERKLEY			4,452.43
00255	CITY OF ROYAL OAK		
03182024		PETTY CASH - FINANCE DEPT	279.37
TOTAL FOR: CITY OF ROYAL OAK			279.37
19161	COLD STONE CREAMERY		
03222024		COLD STONE CREAMERY - SIDEWALK CAFE REFUND	200.00
TOTAL FOR: COLD STONE CREAMERY			200.00
19124	CHRISTOPHER COLEMAN		
02262024		JUROR FEE	17.00
TOTAL FOR: CHRISTOPHER COLEMAN			17.00
17484	COMMPAR, LLC		
7021321-00		VEHICLE REPAIR & MAINTENANCE PARTS	145.60
TOTAL FOR: COMMPAR, LLC			145.60
15883	CONLAN TIRE LLC		
758393		VEHICLE TIRES & TUBES	5,398.72
TOTAL FOR: CONLAN TIRE LLC			5,398.72
00307	CONSUMERS ENERGY		
0023 04/24		400 E 11 MILE	910.15
0034 04/24		212 S CENTER ST	19.20
1179 04/24		110 E 11 MILE	26.28
3355 04/24		3123 N MAIN ST	172.61
6309 04/24		31000 WOODWARD	610.51
7034 04/24		1600 N CAMPBELL RD	5,509.84
7067 04/24		3500 MARAIS AVE	1,148.17
7083 04/24		1608 N CAMPBELL RD	304.46
7109 04/24		1403 LEXINGTON BLVD	4,830.94
7380 04/24		1515 N EDGEWORTH AVE	644.07
7526 04/24		222 E 11 MILE	1,988.70
8631 04/24		450 E 11 MILE	2,544.40
9076 04/24		203 S TROY ST	1,217.79
9946 04/24		215 E 6TH ST	1,129.69
9995 04/24		3128 ROCHESTER RD	418.73
TOTAL FOR: CONSUMERS ENERGY			21,475.54

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	Invoice		
00310	CONTRACTOR'S CLOTHING CO		
	7-118840	UNIFORMS	8.00
	7-119477	UNIFORMS	690.56
	7-119479	UNIFORMS	40.51
	7-119480	UNIFORMS	12.49
	7-119565	UNIFORMS	53.98
	7-119567	UNIFORMS	44.96
	7-119586	UNIFORMS	59.99
	7-119590	UNIFORMS	25.19
	7-119701	UNIFORMS	62.99
TOTAL FOR: CONTRACTOR'S CLOTHING CO			998.67
14414	CORE & MAIN		
	U537986	CURB STOP/BOX, COPPER, BRICKS, BLOCK, MORTAR, PIPES	2,451.00
	U554742	CURB STOP/BOX, COPPER, BRICKS, BLOCK, MORTAR, PIPES	1,093.20
TOTAL FOR: CORE & MAIN			3,544.20
19036	SLOANE COSTANZO		
	03122024	SPRING SWIM PROGRAM	703.84
TOTAL FOR: SLOANE COSTANZO			703.84
10057	COSTELLO LAW OFFICE PLLC		
	1FEBARR24	MIDC COUNSEL	1,080.00
	1FEBVOP24	MIDC COUNSEL	600.00
	2FEBVOP24	MIDC COUNSEL	570.00
TOTAL FOR: COSTELLO LAW OFFICE PLLC			2,250.00
16040	CRABTREE PUBLISHING COMPANY		
	IN587501	BOOKS	49.90
	IN587536	BOOKS	22.95
TOTAL FOR: CRABTREE PUBLISHING COMPANY			72.85
16563	CUMMINS SALES & SERVICE		
	S9-36687	VEHICLE REPAIR & MAINTENANCE PARTS	531.40
TOTAL FOR: CUMMINS SALES & SERVICE			531.40
19098	NICK CUPELLI		
	03192024	COACH REIMBURSEMENT MITE LEVEL 3	71.00
TOTAL FOR: NICK CUPELLI			71.00
19125	JOCELYN CUTEAN		
	02262024	JUROR FEE	17.00
TOTAL FOR: JOCELYN CUTEAN			17.00
RBOND	D.V.M. UTILITIES		
	BENG-200275	BD Bond Refund	10,000.00
TOTAL FOR: D.V.M. UTILITIES			10,000.00
19167	JOHN DAVIS		
	JD001	SENIOR CTR ENTERTAINMENT JUNE 4	325.00
TOTAL FOR: JOHN DAVIS			325.00
19126	MIKAL DAVIS		
	02262024	JUROR FEE	17.00
TOTAL FOR: MIKAL DAVIS			17.00
02987	DEAF & HEARING IMPAIRED SERVICES		
	18946	INTERPRETER SERVICE, MILEAGE	176.90
TOTAL FOR: DEAF & HEARING IMPAIRED SERVICES			176.90

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Vendor Code	Vendor Name	Description	Amount
	Invoice		
12321	MICHAEL DEAN		
	14RO07809 FNL	MIDC COUNSEL	170.00
	1MARSCH24	MIDC COUNSEL	360.00
	22RO04930 BW	MIDC COUNSEL	120.00
	23B-00953 FNL	MIDC COUNSEL	245.00
	23BE04673 FNL	MIDC COUNSEL	320.00
	23R-02344 FNL	MIDC COUNSEL	60.00
	23RO06127 FNL	MIDC COUNSEL	240.00
	24BE00222 FNL	MIDC COUNSEL	120.00
TOTAL FOR: MICHAEL DEAN			1,635.00
19168	DAVID F. DECLARK		
	DD001	SENIOR CTR 50S MUSIC SHOW MAY 7	350.00
TOTAL FOR: DAVID F. DECLARK			350.00
00369	DELL MARKETING L.P.		
	10738110694	PC/LAPTOP REPLACEMENT PROGRAM	1,024.25
TOTAL FOR: DELL MARKETING L.P.			1,024.25
00370	DELTA DENTAL PLAN OF MICH		
	APR 2024	PAYROLL	25,903.10
	APRIL 2024	RETIREMENT	24,326.92
TOTAL FOR: DELTA DENTAL PLAN OF MICH			50,230.02
19084	THE DENT SHOP		
	1045	ESCAPE UNIT 105 REPAIR CLAIM 2304267	8,514.23
	1065	EXPLORER UNIT 859 REPAIR CLAIM 2303959	10,549.65
TOTAL FOR: THE DENT SHOP			19,063.88
19154	DETROIT EATERY		
	03202024	DETROIT EATERY - SIDEWALK CAFE REFUND	600.00
TOTAL FOR: DETROIT EATERY			600.00
19151	DETROIT EQUESTRIAN PLAY THERAPY		
	810	LIBRARY PROGRAM	600.00
TOTAL FOR: DETROIT EQUESTRIAN PLAY THERAPY			600.00
04522	DETROIT SALT COMPANY		
	SI24-25970	ROCK SALT	8,942.40
	SI24-25992	ROCK SALT	8,881.59
	SI24-26008	ROCK SALT	8,972.82
TOTAL FOR: DETROIT SALT COMPANY			26,796.81
19108	BARRY DODSON		
	03192024	COACH REIMBURSEMENT 10U FALCONS	111.00
TOTAL FOR: BARRY DODSON			111.00
00420	DSS CORPORATION		
	51932	DOCUMENT IMAGING MANAGEMENT SERVICES 3/15-4/14 2024	2,000.00
TOTAL FOR: DSS CORPORATION			2,000.00

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Invoice			
00380	DTE ENERGY		
05691 04/24		212 S CENTER ST BLDG PKLOT	4,812.01
05875 04/24		1700 CAMPBELL RD N	194.30
11401 03/24		260 E UNIVERSITY AVE # PK EQUIP	76.21
21975 04/24		203 S TROY ST RINK	3,654.04
31945 04/24		204 S TROY ST	237.31
46770 04/24		803 S MAIN ST # PARKING	35.20
49862 04/24		1600 N CAMPBELL RD (SHEDS)	197.02
52193 04/24		422 E 11 MILE	51.91
52482 04/24		4580 N CAMPBELL	19.98
52623 04/24		502 S MAIN ST BLDG POLE	90.65
53217 04/24		902 CATALPA DR	21.99
54744 04/24		3588 W 13 MILE	106.14
54983 04/24		3915 W 13 MILE	80.99
55360 04/24		4036 W 13 MILE	96.89
55634 04/24		4130 W 13 MILE	86.55
64188 04/24		119 N MAIN ST # PK EQUIP	36.70
65417 04/24		4250 DELEMERE BLVD NORMANDY OAKS PARK	17.90
68330 04/24		3128 ROCHESTER RD FL 1	1,779.13
68488 04/24		1515 N EDGEWORTH AVE	240.39
69098 04/24		222 S CENTER ST	3,580.46
7339 04/24		4309 COOLIDGE	351.84
80387 04/24		203 S TROY ST	4,062.85
82725 04/24		232 S CENTER ST EAGLE PLAZ	41.15
8341 04/24		1298 N CAMPBELL RD	99.08
8390 04/24		2300 W 14 MILE	186.14
84761 04/24		450 E 11 MILE	7,889.48
9078 04/24		222 E 11 MILE	4,013.30
TOTAL FOR: DTE ENERGY			32,059.61
13350	DU ALL CLEANING		
16952		CLEANING SERVICES COURT 2/1-29 2024	3,315.00
TOTAL FOR: DU ALL CLEANING			3,315.00
16058	FRANK DUFFNER		
L0131011263		REIMBURSE CDL FEE	60.00
TOTAL FOR: FRANK DUFFNER			60.00
19171	EILEEN DYER		
03252024		I LOVE RO CONTEST MS DIV. 3RD PLACE	100.00
TOTAL FOR: EILEEN DYER			100.00
16716	PATRICK EARLS		
2023-24 FINAL		BOOT ALLOWANCE	91.01
TOTAL FOR: PATRICK EARLS			91.01
18437	EFFECTIVE FITNESS COMBATIVES, LLC		
INV-EFC0257		INSTRUCTOR CERTIFICATION COURSE/PELLETIER	1,120.00
TOTAL FOR: EFFECTIVE FITNESS COMBATIVES, LLC			1,120.00
16179	EFFECTV		
CC299169		COMMERCIAL ADS JAN 2024	2,498.75
CC299170		COMMERCIAL ADS JAN 2024	2,476.50
CC300876		COMMERCIAL ADS JAN 2024	2,500.00
CC300877		COMMERCIAL ADS JAN 2024	2,500.00
CC304102		COMMERCIAL ADS FEB 2024	2,495.25
CC304103		COMMERCIAL ADS FEB 2024	2,495.75
CC305745		COMMERCIAL ADS FEB 2024	2,500.00
CC305746		COMMERCIAL ADS FEB 2024	2,500.00
TOTAL FOR: EFFECTV			19,966.25

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Vendor Code	Vendor Name	Description	Amount
Invoice			
12926	EGANIX, INC		
19810		MICRO TAB FOR GREASE IN CBD SEWERS	8,080.00
TOTAL FOR: EGANIX, INC			8,080.00
19002	E-KIT TRAINING		
51624-14		FIELD SEARCH SOFTWARE CERTIFICATION COURSE/ROUGEAU	595.00
TOTAL FOR: E-KIT TRAINING			595.00
19127	MARTIN ELWART		
02262024		JUROR FEE	17.00
TOTAL FOR: MARTIN ELWART			17.00
06651	CINDY ERLANDSON		
CE29604-WINTER		SR CTR EXERCISE CLASSES	1,876.00
TOTAL FOR: CINDY ERLANDSON			1,876.00
08392	ESRI, INC		
94682571		SOFTWARE/MAINTENANCE FEE 6/8/2024-6/7/2025	55,000.00
TOTAL FOR: ESRI, INC			55,000.00
07636	FRANK EVERINGHAM		
03252024		ELECTRICAL INSPECTOR 3/11-22 2024	2,925.00
TOTAL FOR: FRANK EVERINGHAM			2,925.00
19128	GERALD EVEY		
02262024		JUROR FEE	17.00
TOTAL FOR: GERALD EVEY			17.00
11118	TODD E FENTON		
03182024		REIMBURSE MML CAPCON 2024 EXPENSES	307.15
TOTAL FOR: TODD E FENTON			307.15
RBOND	FERNDAL PROJECT LLC		
BB46124		BD Bond Refund	200.00
TOTAL FOR: FERNDAL PROJECT LLC			200.00
13756	PAULINA FINNEY		
03132024		REIMBURSE CERTIFIED COURT MANAGER PROGRAM EXPENSES	210.73
TOTAL FOR: PAULINA FINNEY			210.73
00486	FIRE DEFENSE EQUIPMENT CO INC		
008966		ARENA PROPANE	109.50
010177		FIRE 1 SEMI-ANNUAL KITCHEN FIRE SUPP SYS INSPECTION	293.06
010275		FARMERS MKT NAC PANEL REPAIR	664.97
010311		LIBRARY ANNUAL EXTINGUISHER INSPECTION	182.21
010313		CITY HALL ENGINEER RM 209 ANNUAL EXTINGUISHER INSPE	168.08
TOTAL FOR: FIRE DEFENSE EQUIPMENT CO INC			1,417.82
06960	FIRST CHOICE SERVICES		
971252		COURT MONTHLY PURIFICATION UNIT RENTAL	135.00
TOTAL FOR: FIRST CHOICE SERVICES			135.00
19129	MICHAEL FISK		
02262024		JUROR FEE	17.00
TOTAL FOR: MICHAEL FISK			17.00

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14022	FLEIS & VANDENBRINK			
		64161	CROOKS & 13 MILE SIGNAL TIMING	308.00
		68661	2020 CMAQ TRAFFIC SIGNAL IMPROVEMENTS OPTIMIZATION	32,529.57
		68977	2024 ROAD RECONSTRUCTION IMPROVEMENTS	2,780.00
TOTAL FOR: FLEIS & VANDENBRINK				35,617.57
14775	FRAIBERG & PERNIE, PLLC.			
		24RO00004 FNL	MIDC COUNSEL	180.00
TOTAL FOR: FRAIBERG & PERNIE, PLLC.				180.00
00507	FRENTZ AND SONS HARDWARE CO			
		H406426	DISC. SUPPLIES FIRE & EMS	3.88
		H406513	DISC. SUPPLIES VEHICLE REPAIR PARTS	28.20
		N3291	DISC. SUPPLIES COURT BUILDING REPAIR & MAINTENANCE	41.67
		N3333	DISC. SUPPLIES MOTOR POOL	12.56
		N3335	DISC. SUPPLIES VEHICLE REPAIR PARTS	9.88
		P3655	DISC. SUPPLIES COURT BUILDING REPAIR & MAINTENANCE	8.52
		P3701	DISC. SUPPLIES PARKING DEPT	46.66
		P3746	DISC. SUPPLIES SEWER DEPT.	80.99
		P3748	DISC. SUPPLIES SEWER TOOLS	53.99
		P3749	DISC. SUPPLIES PARKING DEPT	52.57
		P3755	DISC. SUPPLIES PARKING DEPT	27.34
		P3758	DISC. SUPPLIES VEHICLE REPAIR & MAINTENANCE	26.97
		P3812	DISC. SUPPLIES VEHICLE REPAIR PARTS	14.11
TOTAL FOR: FRENTZ AND SONS HARDWARE CO				407.34
15202	FRESHII			
		03202024	FRESHII - SIDEWALK CAFE REFUND	200.00
TOTAL FOR: FRESHII				200.00
19130	AUSTEN FULLMER			
		02262024	JUROR FEE	17.00
TOTAL FOR: AUSTEN FULLMER				17.00
14353	FUTURE REPRODUCTIONS			
		121628	CLERK - VOTER DISTRICT, CITY STREET MAPS	478.00
TOTAL FOR: FUTURE REPRODUCTIONS				478.00
05461	GALE/CENGAGE LEARNING			
		84022776	BOOKS	52.48
		84076806	BOOKS	80.22
		84077265	BOOKS	79.47
		84084731	BOOKS	53.23
TOTAL FOR: GALE/CENGAGE LEARNING				265.40
16611	GOLDFISH TEA			
		03202024	GOLDFISH TEA - SIDEWALK CAFE REFUND	200.00
TOTAL FOR: GOLDFISH TEA				200.00
09839	JUAN M. GONZALEZ			
		23RO08186 FNL	MIDC COUNSEL	240.00
		23RO08196 FNL	MIDC COUNSEL	270.00
TOTAL FOR: JUAN M. GONZALEZ				510.00
14790	JAY GOODNIGHT			
		2023-24	BOOT ALLOWANCE	250.00
TOTAL FOR: JAY GOODNIGHT				250.00

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	Invoice		
00541	GRAINGER		
	9049281489	VEHICLE REPAIR & MAINTENANCE PARTS	28.74
TOTAL FOR: GRAINGER			28.74
06848	GRAND BLANC PRINTING CO INC		
	65738	SPRING 2024 PRINTING INSIGHT MAGAZINE	13,669.75
TOTAL FOR: GRAND BLANC PRINTING CO INC			13,669.75
00029	GREAT LAKES ACE HARDWARE		
	J30837/86	FIRE & EMS SUPPLIES	45.57
TOTAL FOR: GREAT LAKES ACE HARDWARE			45.57
13084	GREAT LAKES WATER AUTHORITY		
	300-1311-S 02/24	IWC - FEBRUARY 2024	14,075.88
TOTAL FOR: GREAT LAKES WATER AUTHORITY			14,075.88
01161	GREATER ROYAL OAK CHAMBER OF COMMER		
	117542	FARMERS MKT RENEWAL DUES	300.00
TOTAL FOR: GREATER ROYAL OAK CHAMBER OF COMMER			300.00
14505	ADAM HACKSTOCK		
	03262024	HOCKEY REFEREE	246.00
TOTAL FOR: ADAM HACKSTOCK			246.00
01896	KAREN HALPERN		
	WINTER 2024	WATER COLOR SESSIONS	1,026.20
TOTAL FOR: KAREN HALPERN			1,026.20
16218	HAMILTON CHEVROLET		
	5133027	VEHICLE REPAIR & MAINTENANCE PARTS/SERVICES	74.78
TOTAL FOR: HAMILTON CHEVROLET			74.78
RBOND	HAROLD R MCCALEBB JR		
	00264434	BD Payment Refund	77.00
TOTAL FOR: HAROLD R MCCALEBB JR			77.00
19035	CATELYN HARRIS		
	03122024	SPRING SWIM PROGRAM	703.84
TOTAL FOR: CATELYN HARRIS			703.84
15295	HAYES PRECISION, INC		
	18124	ZAMBONI ICE KNIFE SHARPENED	90.00
TOTAL FOR: HAYES PRECISION, INC			90.00
00577	HEALTH ALLIANCE PLAN		
	100010581296	APRIL 2024 PREMIUM	57,192.99
TOTAL FOR: HEALTH ALLIANCE PLAN			57,192.99
19074	HEALTHCHOICE OF MICHIGAN		
	MAY 2024	PT MEDICAL BENEFITS	1,351.78
TOTAL FOR: HEALTHCHOICE OF MICHIGAN			1,351.78
16199	HENRY FORD HEALTH SYSTEM		
	98814-030924	MEDICAL SERVICES FEBRUARY	402.00
TOTAL FOR: HENRY FORD HEALTH SYSTEM			402.00

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Vendor Code	Vendor Name	Description	Amount
	Invoice		
11666	HERITAGE CRYSTAL CLEAN LLC		
	18547949	OIL DISPOSAL	190.46
TOTAL FOR: HERITAGE CRYSTAL CLEAN LLC			190.46
00599	HOME DEPOT		
	3023328	HIGHWAY PAINT	4.59
	3023350	WATER MAINTENANCE TOOLS & HARDWARE	94.82
	3513362X	ARENA BUILDING REPAIR SUPPLIES	100.38
	4030689	SUPPLIES FOR BARRICADES	54.25
	4352587	TOOLS & HARDWARE	258.73
	5512457	WATER MAINTENANCE TOOLS & HARDWARE	619.97
	5524161	PARKING DEPT BUILDING REPAIR & MAINTENANCE SUPPLIES	19.98
	6014056	SEWER TOOLS, SAFETY GEAR/PLUGER	229.07
	6032166	HIGHWAY DEPT TOOLS & HARDWARE	119.00
	7522912	COURT BUILDING REPAIR & MAINTENANCE SUPPLIES	164.52
	8524880	VEHICLE REPAIR & MAINTENANCE PARTS	49.36
	9014475	SIGN TRUCK SUPPLIES	75.42
	9031706	WATER & SEWER REPAIR & MAINTENANCE PARTS	174.42
	9522661	COURT BUILDING REPAIR & MAINTENANCE SUPPLIES	75.96
TOTAL FOR: HOME DEPOT			2,040.47
RBOND	HOMESTEAD CONSTRUCTION COMPANY		
	BB45819	BD Bond Refund	750.00
TOTAL FOR: HOMESTEAD CONSTRUCTION COMPANY			750.00
18484	IAPE		
	M24-C692722	2024 MEMBERSHIP/SHELDON	65.00
TOTAL FOR: IAPE			65.00
RBOND	IDEAL BUILDERS AND REMODELING		
	BB46109	BD Bond Refund	1,250.00
TOTAL FOR: IDEAL BUILDERS AND REMODELING			1,250.00
15749	IDUMESARO LAW FIRM, PLLC		
	24R-00145 BW	MIDC COUNSEL	198.00
TOTAL FOR: IDUMESARO LAW FIRM, PLLC			198.00
18258	IHEART MEDIA		
	8821105980	STREAMING RADIO ADS FEBRUARY	4,615.36
TOTAL FOR: IHEART MEDIA			4,615.36
RBOND	ILLYRIA CONTRACTING LLC		
	BB46115	BD Bond Refund	1,250.00
TOTAL FOR: ILLYRIA CONTRACTING LLC			1,250.00
06478	IMAGE PRINTING		
	81746	I LOVE RO CLINGS	612.00
	81815	I LOVE RO LARGE CLINGS	595.00
TOTAL FOR: IMAGE PRINTING			1,207.00
19088	IMPERIAL DADE		
	90034456-02	CLEANING & JANITORIAL SUPPLIES SENIOR CTR	93.14
	90034725-00	CLEANING & JANITORIAL SUPPLIESN COURT	1,180.00
	90035846-00	CREDIT - FARMERS MKT CLEANING & JANITORIAL SUPPLIES	(184.08)
	90038257-00	CLEANING & JANITORIAL SUPPLIES POLICE	420.80
	90038350-00	CLEANING & JANITORIAL SUPPLIES SENIOR CTR & PRESCHO	216.01
TOTAL FOR: IMPERIAL DADE			1,725.87

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	Invoice		
15802	INGRAM LIBRARY SERVICES		
	80956604	BOOKS	154.49
	80956605	BOOKS	1,185.91
	80956606	BOOKS	384.15
	80986203	BOOKS	243.10
	81021884	BOOKS	1,025.72
	81021885	BOOKS	535.72
	81039803	BOOKS	299.46
	81076797	BOOKS	485.33
	81090378	BOOKS	612.94
	81135666	BOOKS	312.69
	81146500	CREDIT - BOOKS (APPLY TO INV 81135666)	(12.41)
TOTAL FOR: INGRAM LIBRARY SERVICES			5,227.10
13483	INTEGRITY BUSINESS SOLUTIONS		
	2555961-0	PAPER FOR COURT	883.80
	2563956-0	PAPER FOR FIRE DEPT	195.96
	2566001-0	PAPER FOR COURT & PRINT SHOP	1,468.30
	2566760-0	PAPER FOR CLERK	146.97
TOTAL FOR: INTEGRITY BUSINESS SOLUTIONS			2,695.03
00656	JACK DOHENY SUPPLIES INC		
	218160	PURCHASE OF A VACTOR	544,454.68
	222543	SEWER HOSES	550.50
	222935	MISC SEWER PARTS FOR VACTORS/SEWER CAMERA REPAIR	1,337.50
	223060	MISC SEWER PARTS FOR VACTORS/SEWER CAMERA REPAIR	1,783.75
TOTAL FOR: JACK DOHENY SUPPLIES INC			548,126.43
19172	KATE JACKSON		
	03252024	I LOVE RO CONTEST ES DIV. 2ND PLACE	150.00
TOTAL FOR: KATE JACKSON			150.00
00664	JAX KAR WASH INC		
	FEB 2024	VEHICLE WASHES	878.00
	JAN 2024	VEHICLE WASHES	494.00
TOTAL FOR: JAX KAR WASH INC			1,372.00
03979	JAY'S SEPTIC TANK SERVICE		
	I148188	HAND SANITIZER 1300 LONGFELLOW 3/20-4/16 2024	850.00
TOTAL FOR: JAY'S SEPTIC TANK SERVICE			850.00
01915	JH HART URBAN FORESTRY		
	102235	TREE TRIMMING, REMOVAL & FORESTRY ISSUES 3/4-8 2024	19,333.23
TOTAL FOR: JH HART URBAN FORESTRY			19,333.23
19158	JIMMY JOHNS #150		
	03202024	JIMMY JOHN'S - SIDEWALK CAFE REFUND	200.00
TOTAL FOR: JIMMY JOHNS #150			200.00
00680	JOE'S AUTO PARTS INC		
	140633	VEHICLE REPAIR & MAINTENANCE PARTS	495.97
	140634	VEHICLE REPAIR & MAINTENANCE PARTS	495.97
	140639	VEHICLE REPAIR & MAINTENANCE PARTS	3.39
	140645	VEHICLE REPAIR & MAINTENANCE PARTS	67.92
	140791	VEHICLE REPAIR & MAINTENANCE PARTS	281.29
	140892	CREDIT - VEHICLE REPAIR & MAINTENANCE PARTS	(222.99)
	141185	VEHICLE REPAIR & MAINTENANCE PARTS	138.58
	141299	VEHICLE REPAIR & MAINTENANCE PARTS	74.77
	141330	VEHICLE REPAIR & MAINTENANCE PARTS	13.49
	141357	VEHICLE REPAIR & MAINTENANCE PARTS	90.73
TOTAL FOR: JOE'S AUTO PARTS INC			1,439.12

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10526	JOHNSON & WOOD LLC		
	34248	HEATING/COOLING REPAIRS POLICE	3,051.69
	34249	HEATING/COOLING REPAIRS FIRE 2	1,942.23
	34331	HEATING/COOLING REPAIRS FARMERS MKT	135.00
	34386	HEATING/COOLING REPAIRS LIBRARY	1,632.00
TOTAL FOR: JOHNSON & WOOD LLC			6,760.92
14014	JONES & BARTLETT LEARNING, LLC		
	840936	NVPMD FIRE OFFICER TRAINING/GLADIEUX	95.96
	840944	NVA FIRE/EMS & NVPM FIRE OFFICER TRAINING	296.29
	886104	EMS ONLINE TRAINING	329.25
TOTAL FOR: JONES & BARTLETT LEARNING, LLC			721.50
11272	K & Q LAW, LLC		
	2/6, 20 2024MK	SOBRIETY COURT	600.00
TOTAL FOR: K & Q LAW, LLC			600.00
07719	LYNNE KALEITA		
	5418	ROSES	47.25
	6084	ROSES	47.25
	6792	ROSES	54.00
	6835	ROSES	47.25
TOTAL FOR: LYNNE KALEITA			195.75
18610	PETER KALINOWSKI		
	03262024	HOCKEY REFEREE	55.00
TOTAL FOR: PETER KALINOWSKI			55.00
17344	KAPLAN LAW OFFICE		
	19RO04011 BW	MIDC COUNSEL	90.00
	23R-01849 FNL	MIDC COUNSEL	630.00
TOTAL FOR: KAPLAN LAW OFFICE			720.00
03704	MIKE KINASZ		
	03262024	HOCKEY REFEREE SCHEDULING FEE	80.00
TOTAL FOR: MIKE KINASZ			80.00
00112	THE KITCHEN INC		
	81515	PRISONER MEALS	266.52
	81543	PRISONER MEALS	241.02
TOTAL FOR: THE KITCHEN INC			507.54
06122	KONE INC		
	1158690098	POLICE STATION ELEVATOR REPAIR	548.04
TOTAL FOR: KONE INC			548.04
10177	BRETT L KOON		
	BK001	MEDITATION CLASS SR CTR MARCH 5-APRIL 23	128.00
TOTAL FOR: BRETT L KOON			128.00
19103	ERIC KORBECKI		
	03192024	COACH REIMBURSEMENT 12U FALCONS	146.00
TOTAL FOR: ERIC KORBECKI			146.00
10604	KRIEGER-KLATT ARCHITECTS INC		
	8725	PROJECT 23-040 FARMERS MARKET RESTROOMS	1,650.00
TOTAL FOR: KRIEGER-KLATT ARCHITECTS INC			1,650.00

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Vendor Code	Vendor Name	Description	Amount
Invoice			
RBOND	KULLA, FATIME		
	BB45978	BD Bond Refund	1,250.00
TOTAL FOR: KULLA, FATIME			1,250.00
12663	LANGUAGE LINE SERVICES, INC.		
	11244073	INTERPRETER SERVICE	36.45
TOTAL FOR: LANGUAGE LINE SERVICES, INC.			36.45
15971	LARDNER ELEVATOR		
	200506	COURT ELEVATOR MAINTENANCE FEB 2024	600.00
	200630	COURT ELEVATOR PHONE REPAIR	202.08
TOTAL FOR: LARDNER ELEVATOR			802.08
RBOND	LAVISH HOMES LLC		
	BB46114	BD Bond Refund	1,250.00
TOTAL FOR: LAVISH HOMES LLC			1,250.00
13308	LAW OFFICE OF DARYL NAFSU		
	24R-00236 FNL	MIDC COUNSEL	330.00
TOTAL FOR: LAW OFFICE OF DARYL NAFSU			330.00
10468	LAW OFFICES OF RANDALL J. SECONTINE		
	1MARVOP24	MIDC COUNSEL	360.00
TOTAL FOR: LAW OFFICES OF RANDALL J. SECONTINE			360.00
15697	THE LEGAL PUGILISTS		
	5055	INDIGENT DEFENSE MANAGED ASSIGNED COUNCIL COORDINAT	7,560.00
	5056	INDIGENT DEFENSE MANAGED ASSIGNED COUNCIL COORDINAT	7,560.00
	5057	INDIGENT DEFENSE MANAGED ASSIGNED COUNCIL COORDINAT	7,560.00
TOTAL FOR: THE LEGAL PUGILISTS			22,680.00
19155	LEO'S CONEY ISLAND		
	03202024	LEO'S CONEY ISLAND - SIDEWALK CAFE REFUND	200.00
TOTAL FOR: LEO'S CONEY ISLAND			200.00
04678	LEXISNEXIS RISK SOLUTIONS		
	1126950-20240229	COMPUTER/TELECOM EQUIP LEASES & RENTALS 2/1-29 2024	200.00
TOTAL FOR: LEXISNEXIS RISK SOLUTIONS			200.00
14825	LIBRARY IDEAS		
	111393	FREADING PAY AS YOU GO FEB USAGE	12.00
TOTAL FOR: LIBRARY IDEAS			12.00
00751	THE LIBRARY NETWORK		
	73757	CIRCUIT & INTERNET SPEED, SHARED FIBER COST JAN-MAR	1,733.72
TOTAL FOR: THE LIBRARY NETWORK			1,733.72
17937	DONALD LICHTT		
	121192022	REISSUE - HOCKEY REFEREE	82.00
TOTAL FOR: DONALD LICHTT			82.00
17355	LINDE GAS & EQUIPMENT INC.		
	41821380	DPS OPERATING SUPPLIES	606.15
TOTAL FOR: LINDE GAS & EQUIPMENT INC.			606.15
RBOND	LIVE WELL CUSTOM HOMES LLC		
	BB45725	BD Bond Refund	750.00
	BB46158	BD Bond Refund	1,250.00
TOTAL FOR: LIVE WELL CUSTOM HOMES LLC			2,000.00

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Vendor Code	Vendor Name	Description	Amount
Invoice			
18132	GREG LOSINSKI		
	03262024	HOCKEY REFEREE	137.00
TOTAL FOR: GREG LOSINSKI			137.00
RBOND	M1DTW ARCHITECTS LLC		
	BB46119	BD Bond Refund	750.00
TOTAL FOR: M1DTW ARCHITECTS LLC			750.00
09590	MANOOGIAN LAW, PLLC		
	1MARSCH24	MIDC COUNSEL	360.00
	1MARVOP24	MIDC COUNSEL	540.00
	23BE05981 FNL	MIDC COUNSEL	150.00
	23R-02306 FNL	MIDC COUNSEL	330.00
	23RO00024 FNL	MIDC COUNSEL	621.00
	23RO07753 FNL	MIDC COUNSEL	180.00
	SP4301845 FNL	MIDC COUNSEL	120.00
TOTAL FOR: MANOOGIAN LAW, PLLC			2,301.00
07293	MARCEL BENAVIDES LAW OFFICE		
	23BE03925A FNL	MIDC COUNSEL	210.00
TOTAL FOR: MARCEL BENAVIDES LAW OFFICE			210.00
08499	MATHESON TRI-GAS INC		
	0029386883	FIRE & EMS SUPPLIES	645.43
TOTAL FOR: MATHESON TRI-GAS INC			645.43
08339	MAZUR MARKET MANAGEMENT LLC		
	240325	CONTRACTED WORKER SERVICES 2023-24 MMM 3/11-24 2024	10,115.00
TOTAL FOR: MAZUR MARKET MANAGEMENT LLC			10,115.00
03556	TIMOTHY P MC GLINCHEY		
	22RO03567A FNL	MIDC COUNSEL	180.00
	23RO02471 FNL	MIDC COUNSEL	210.00
TOTAL FOR: TIMOTHY P MC GLINCHEY			390.00
15419	SARAH MCKENZIE		
	23RO07853 FNL	MIDC COUNSEL	300.00
TOTAL FOR: SARAH MCKENZIE			300.00
19145	DEREK MCLAUGHLIN		
	03182024	DOG LICENSE OVERPAYMENT (PAID FOR 3-YR, CAN ONLY GE	13.00
TOTAL FOR: DEREK MCLAUGHLIN			13.00
00834	MCNAUGHTON - MCKAY ELECTRIC		
	24309052-00	TOOLS & HARDWARE	331.92
TOTAL FOR: MCNAUGHTON - MCKAY ELECTRIC			331.92
17108	JOHN MCNEIL		
	03182024	REIMBURSE ARENA EXPENSE (COMPRESSOR)	3,340.00
TOTAL FOR: JOHN MCNEIL			3,340.00
19131	LYNN MERRIOTT		
	02262024	JUROR FEE	17.00
TOTAL FOR: LYNN MERRIOTT			17.00
06489	METCOM		
	158238	COURT DEFAULT NOTICE PRINTING	1,432.16
	158239	COURT RECEIPT PAPER	996.48
TOTAL FOR: METCOM			2,428.64

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11553	METRO DETROIT REFEREES ASSOC		
	ROA-Y_031524	SCHEDULING FEES & HOCKEY REFEREES 3/1-15 2024	570.00
TOTAL FOR: METRO DETROIT REFEREES ASSOC			570.00
09220	METRO PUMP SERVICE LLC		
	25499	MARCH GAS/DIESEL PUMP SYSTEMS MAINTENANCE	990.00
TOTAL FOR: METRO PUMP SERVICE LLC			990.00
RBOND	MGA ARCHITECTS		
	BB46113	BD Bond Refund	200.00
TOTAL FOR: MGA ARCHITECTS			200.00
02937	MICH ASSOC OF CHIEFS OF POLICE		
	200012254	REISSUE - 2024 MARCH POLICE EXECUTIVES SCHOOL/SPANG	1,295.00
TOTAL FOR: MICH ASSOC OF CHIEFS OF POLICE			1,295.00
00869	MICHIGAN DEPT OF TRANSPORTATION		
	MDOT00297 CAP2306	2023 ROCHESTER ROAD RESURFACING IMPROVEMENTS	97,618.69
TOTAL FOR: MICHIGAN DEPT OF TRANSPORTATION			97,618.69
00899	MIDWEST TAPE		
	505182094	HOOPLA & MEDIA	168.49
	505182095	HOOPLA & MEDIA	570.95
	505182096	HOOPLA & MEDIA	766.53
	505192507	HOOPLA & MEDIA	18.74
	505209488	HOOPLA & MEDIA	102.94
	505224157	HOOPLA & MEDIA	15.74
	505224158	HOOPLA & MEDIA	234.41
	505242218	HOOPLA & MEDIA	49.99
TOTAL FOR: MIDWEST TAPE			1,927.79
12672	MILLENNIA TECHNOLOGIES		
	2407371DP	DEPOSIT - PHONE SYSTEM UPGRADE AND CONTRACT RENEWAL	234,030.09
TOTAL FOR: MILLENNIA TECHNOLOGIES			234,030.09
03594	MICHIGAN MUN RISK MGMT AUTH ECP		
	MMRMA-D24021003	FEBRUARY 2024 ELECTRIC CHOICE PROGRAM	27,228.88
TOTAL FOR: MICHIGAN MUN RISK MGMT AUTH ECP			27,228.88
15511	VINCENT MORALES		
	03192024	REIMBURSE TRI-COUNTY PLUMBING INSPECTORS ASSOC. REG	30.00
TOTAL FOR: VINCENT MORALES			30.00
17164	MATHEW MORGAN		
	03262024	HOCKEY REFEREE	82.00
TOTAL FOR: MATHEW MORGAN			82.00
17365	MOSS		
	INV16665	INSTALL NEW COURTHOUSE DECODER	1,644.55
TOTAL FOR: MOSS			1,644.55
00916	MOTION INDUSTRIES		
	MI01-01033028	VEHICLE REPAIR & MAINTENANCE PARTS	53.78
TOTAL FOR: MOTION INDUSTRIES			53.78
00917	MOTOR CITY ELECTRIC CO.		
	CAP2242 PE10	2022 TRAFFIC SIGNAL IMPROVEMENTS	328,078.40
TOTAL FOR: MOTOR CITY ELECTRIC CO.			328,078.40

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18828	MONIKA MOZHAM		
1063558058		REIMBURSE BAGELS FOR JURORS	19.91
TOTAL FOR: MONIKA MOZHAM			19.91
19165	MSC		
230002074		AMBULANCE REFUND/MAKO	524.71
TOTAL FOR: MSC			524.71
19009	MULTILANGUAGE SERVICES INC.		
427129		COURT INTERPRETER SERVICE	170.00
TOTAL FOR: MULTILANGUAGE SERVICES INC.			170.00
16922	MUNICIPAL EMERGENCY SERVICES		
IN2024827		UNIFORM CLOTHING & GEAR FIRE DEPT	7,365.75
TOTAL FOR: MUNICIPAL EMERGENCY SERVICES			7,365.75
02499	JOSEPH M MURPHY		
03222024		REIMBURSE MCDA CONFERENCE MILEAGE	101.17
TOTAL FOR: JOSEPH M MURPHY			101.17
05865	NAPA AUTO PARTS MADISON HEIGHTS		
4323-883710		PURCHASE OF PARTS AS NEEDED	160.78
4323-883747		PURCHASE OF PARTS AS NEEDED	102.16
4323-884545		PURCHASE OF PARTS AS NEEDED	183.15
4323-884608		PURCHASE OF PARTS AS NEEDED	136.01
TOTAL FOR: NAPA AUTO PARTS MADISON HEIGHTS			582.10
00944	NATIONAL LADDER		
1-71329		P&F SAFETY CLOTHING & GEAR	94.00
TOTAL FOR: NATIONAL LADDER			94.00
11407	NATURAL COMMUNITY SERVICES		
3900		NORMANDY OAKS MAINTENANCE MARCH 2024	11,900.00
TOTAL FOR: NATURAL COMMUNITY SERVICES			11,900.00
06571	NBS		
444166		MTHLY CARPET CLEANING SENIOR CTR	180.00
TOTAL FOR: NBS			180.00
07664	JOHN NELLIS		
6914		ROSES	27.00
TOTAL FOR: JOHN NELLIS			27.00
RBOND	NELSON BROS SWR & PLBG SVC INC		
BENG-220345		BD Bond Refund	2,000.00
TOTAL FOR: NELSON BROS SWR & PLBG SVC INC			2,000.00
19132	CAMILLE NELSON		
02262024		JUROR FEE	17.00
TOTAL FOR: CAMILLE NELSON			17.00
03274	THE NEW YORK TIMES		
362F6ECE2412		LIBRARY ONLINE DIGITAL SUBSCRIPTION MARCH 2024-MARC	1,606.80
TOTAL FOR: THE NEW YORK TIMES			1,606.80
16869	ERIC NISSANI		
NISSANI 2/22/24		INTERPRETER SERVICE	90.00
NISSANI 2/29/24		INTERPRETER SERVICE	90.00
TOTAL FOR: ERIC NISSANI			180.00

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Invoice			
19156	NOODLES & CO		
03202024		NOODLES & CO - SIDEWALK CAFE REFUND	200.00
TOTAL FOR: NOODLES & CO			200.00
04313	NYE UNIFORM		
861120		UNIFORMS FOR PD	209.50
862397C		UNIFORMS FOR PD	119.99
869568		UNIFORMS FOR PD	1,255.00
869594		UNIFORMS FOR PD	260.00
874268		UNIFORMS FOR PD	513.98
874487		UNIFORMS FOR PD	214.50
874487A		UNIFORMS FOR PD	996.00
875497		UNIFORMS FOR PD	199.50
876508		UNIFORMS FOR PD	100.00
877028		UNIFORMS FOR PD	48.50
877322		UNIFORMS FOR PD	59.50
TOTAL FOR: NYE UNIFORM			3,976.47
06178	OAKLAND COUNTY		
CI035531		BOARD OF CANVASSERS, NOV 2023 CANVASSING COSTS	302.67
TOTAL FOR: OAKLAND COUNTY			302.67
01007	ODP BUSINESS SOLUTIONS, LLC		
354764859001		85793581 OFFICE SUPPLIES	148.68
354798555001		85793581 OFFICE SUPPLIES	155.09
355781145001		CREDIT - 85793581 OFFICE SUPPLIES	(209.38)
356996621001		85793581 OFFICE SUPPLIES	69.43
357009615001		85793581 OFFICE SUPPLIES	68.30
357009617001		85793581 OFFICE SUPPLIES	30.79
358075369001		85793581 OFFICE SUPPLIES	114.01
358927862001		85793581 OFFICE SUPPLIES	41.99
358928386001		85793581 OFFICE SUPPLIES	5.59
359289886001		85793581 OFFICE SUPPLIES	21.71
359290185001		85793581 OFFICE SUPPLIES	176.38
TOTAL FOR: ODP BUSINESS SOLUTIONS, LLC			622.59
09696	KIM-HAO N OLBRYN		
OLBRYN 3/4/24		INTERPRETER SERVICE	90.00
TOTAL FOR: KIM-HAO N OLBRYN			90.00
19162	OLD DETROIT CITY GRILLE		
03222024		OLD DETROIT CITY GRILLE - SIDEWALK CAFE REFUND	200.00
TOTAL FOR: OLD DETROIT CITY GRILLE			200.00
19173	MAYA OMOWALE		
03252024		I LOVE RO CONTEST ES DIV. 1ST PLACE	250.00
TOTAL FOR: MAYA OMOWALE			250.00
RBOND	ORLOFF HOMES INC		
BB46057		BD Bond Refund	1,250.00
TOTAL FOR: ORLOFF HOMES INC			1,250.00
12581	OVERDRIVE		
00870CO24078065		PURCHASE OF AUDIO BOOKS	949.78
00870CO24085832		PURCHASE OF AUDIO BOOKS	3,189.83
TOTAL FOR: OVERDRIVE			4,139.61
19133	NANCY PALUS		
02262024		JUROR FEE	17.00
TOTAL FOR: NANCY PALUS			17.00

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Vendor Code	Vendor Name	Description	Amount
Invoice			
11211	PANERA, LLC		
60069424062995		FOOD FOR ELECTION WORKERS PCT. 13	108.20
60069424063262		FOOD FOR ELECTION WORKERS PCT. 1	202.35
60069424063315		FOOD FOR ELECTION WORKERS PCT. 2, 3	194.50
60069424063541		FOOD FOR ELECTION WORKERS PCT. 12	104.14
60069424063655		FOOD FOR ELECTION WORKERS PCT. 4	105.79
60069424085887		FOOD FOR ELECTION WORKERS CITY HALL AVCB LUNCH	433.02
60128124063017		FOOD FOR ELECTION WORKERS PCT. 18	105.54
60128124063618		FOOD FOR ELECTION WORKERS PCT. 7	102.27
60128124063685		FOOD FOR ELECTION WORKERS PCT. 6	121.41
60128124063770		FOOD FOR ELECTION WORKERS PCT. 8, 11	185.39
60128124063824		FOOD FOR ELECTION WORKERS PCT. 9, 10	213.26
60128124063934		FOOD FOR ELECTION WORKERS PCT. 14-16	177.08
60128124063980		FOOD FOR ELECTION WORKERS PCT. 15	105.90
60128124064009		FOOD FOR ELECTION WORKERS PCT. 17	113.65
TOTAL FOR: PANERA, LLC			2,272.50
18768	CRAIG PEISER		
03262024		HOCKEY REFEREE	137.00
TOTAL FOR: CRAIG PEISER			137.00
05056	PET SUPPLIES PLUS #5		
00050210440334		PET SUPPLIES (K9 THORVI)	174.50
TOTAL FOR: PET SUPPLIES PLUS #5			174.50
19115	LAURA PEYCHICH-SKEWES		
03132024		WATERCOLOR CLASS PARTIAL REFUND	45.00
TOTAL FOR: LAURA PEYCHICH-SKEWES			45.00
07787	BRENDA PEZNOWSKI		
5651		ROSES	54.00
5654		ROSES	27.00
TOTAL FOR: BRENDA PEZNOWSKI			81.00
16897	JOSEPH PHILLIPS		
1FEBSCH24		MIDC COUNSEL	360.00
TOTAL FOR: JOSEPH PHILLIPS			360.00
02075	PHOENIX STONE CO		
83489		102.36 TONS DIAMOND DUST	5,015.64
TOTAL FOR: PHOENIX STONE CO			5,015.64
06886	PLAYAWAY PRODUCTS LLC		
455914		LIBRARY VIDEO & AUDIO RESOURCES	343.94
TOTAL FOR: PLAYAWAY PRODUCTS LLC			343.94
19152	BRAD PLUGER		
2023-24		BOOT ALLOWANCE	102.81
TOTAL FOR: BRAD PLUGER			102.81
18069	PMG SM HOLDINGS LLC		
INV2068919		MARKING PAINT, CONES	2,790.75
TOTAL FOR: PMG SM HOLDINGS LLC			2,790.75
16248	LELAND POIRIER		
6076		ROSES	380.00
6083		ROSES	296.00
TOTAL FOR: LELAND POIRIER			676.00

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19166	PROGRESSIVE		
230006182		AMBULANCE REFUND/WRONIKOWSKI	75.00
TOTAL FOR: PROGRESSIVE			75.00
01085	PRUDENTIAL HEALTHCARE GROUP		
APR 2024		RETIREMENT	113.12
APR 2024 LTD		LONG TERM DISABILITY	3,389.31
APR 2024 STD		SHORT TERM DISABILITY	3,524.51
APRIL 2024		PAYROLL	6,581.79
TOTAL FOR: PRUDENTIAL HEALTHCARE GROUP			13,608.73
18015	PULP MEDIA DBA BUREAU DETROIT		
1752		PHOTO/VIDEO MARCH 2024	6,500.00
TOTAL FOR: PULP MEDIA DBA BUREAU DETROIT			6,500.00
07657	QMI GROUP INC		
237390		OFFICE SUPPLIES	645.28
TOTAL FOR: QMI GROUP INC			645.28
17619	QUENCH USA, INC.		
INV07101619		DPS CHUNGH0700ICE 3/13-4/12 2024	50.60
TOTAL FOR: QUENCH USA, INC.			50.60
RBOND	RAMTRA MANAGEMENT SERVICE LLC		
BB46097		BD Bond Refund	246.00
TOTAL FOR: RAMTRA MANAGEMENT SERVICE LLC			246.00
14899	RAPID GROUP, LLC		
220897		COURT SECURITY TOTERS	585.00
221058		CLERK SECURITY TOTERS	630.00
TOTAL FOR: RAPID GROUP, LLC			1,215.00
19174	ADDISON REISDORF		
03252024		I LOVE RO CONTEST HS DIV. 2ND PLACE	500.00
TOTAL FOR: ADDISON REISDORF			500.00
08733	MARK REITENGA		
126		FARMERS MKT FOOD TRUCK RALLY ENTERTAINMENT APRIL 10	250.00
TOTAL FOR: MARK REITENGA			250.00
15212	JONATHON RHIND		
03262024		HOCKEY REFEREE	328.00
TOTAL FOR: JONATHON RHIND			328.00
08377	RKA PETROLEUM COMPANIES		
0381974		PURCHASE OF FUEL	31,712.17
TOTAL FOR: RKA PETROLEUM COMPANIES			31,712.17
14821	ROAD COMMISSION FOR OAKLAND COUNTY		
6917		TRAFFIC SIGNAL REPAIR PERIOD END 2/29/2024	630.59
TOTAL FOR: ROAD COMMISSION FOR OAKLAND COUNTY			630.59
07805	SUSAN ROBB		
SR001		CRAFT CLASSES	117.60
TOTAL FOR: SUSAN ROBB			117.60
19134	DONALD ROBERTSON		
02262024		JUROR FEE	17.00
TOTAL FOR: DONALD ROBERTSON			17.00

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Invoice			
02879	ROCKET ENTERPRISE INC		
183086		COURT ANNUAL FLAG SERVICE MARCH 2024-FEB 2025	950.00
TOTAL FOR: ROCKET ENTERPRISE INC			950.00
05305	ROCKET ONE STOP OFFICE		
81070		DPS SIGN SHOP MATERIALS	270.50
81174		BEE CITY ADHESIVE	38.50
81272		APRIL 2024 AD CAMPAIGN CITY HALL FAIR HOUSING POSTE	131.25
TOTAL FOR: ROCKET ONE STOP OFFICE			440.25
19135	JUSTIN ROLNITZKY		
02262024		JUROR FEE	17.00
TOTAL FOR: JUSTIN ROLNITZKY			17.00
17342	RONIN SUSHI ROYAL OAK, LLC		
03202024		RONIN SUSHI - SIDEWALK CAFE REFUND	200.00
TOTAL FOR: RONIN SUSHI ROYAL OAK, LLC			200.00
16760	ROSATI SCHULTZ JOPPICH & AMTSBUECHL		
1080990		EMPLOYEE RELATIONS COMMITTEE INVESTIGATION	1,017.50
1080991		QUALITY ROOTS CLAIM OF APPEAL	122.50
TOTAL FOR: ROSATI SCHULTZ JOPPICH & AMTSBUECHL			1,140.00
01157	ROSE PEST SOLUTIONS		
31118266		300 S LAFAYETTE PEST CONTROL	50.00
31119320		300 S LAFAYETTE PEST CONTROL	50.00
31119321		MOTOR POOL BIRD MGMT	50.00
31119343		ANIMAL SHELTER PEST CONTROL	55.00
31119347		MOTOR POOL BIRD MGMT	50.00
31119403		COURT PEST CONTROL	66.00
TOTAL FOR: ROSE PEST SOLUTIONS			321.00
11504	THE ROSSOW GROUP LLC		
011224-5		STRATEGIC PUBLIC AFFAIRS TRAINING/MILLARD	425.00
TOTAL FOR: THE ROSSOW GROUP LLC			425.00
19144	ROYAL OAK CIVIC FOUNDATION		
03132024		TRANSFER FUND BALANCE	48,213.30
TOTAL FOR: ROYAL OAK CIVIC FOUNDATION			48,213.30
07697	ROYAL OAK RESTAURANT ASSOC		
03222024		2023 BEER STROLL SPONSORSHIP	10,000.00
TOTAL FOR: ROYAL OAK RESTAURANT ASSOC			10,000.00
19157	ROYAL OAK TAP HOUSE		
03202024		ROYAL OAK TAP HOUSE - SIDEWALK CAFE REFUND	200.00
TOTAL FOR: ROYAL OAK TAP HOUSE			200.00
18378	RUSCH ENTERTAINMENT		
RE001		SENIOR CTR ENTERTAINMENT APR 9, 23, MAY 14, JUNE 11	1,600.00
TOTAL FOR: RUSCH ENTERTAINMENT			1,600.00
12981	MEGAN SCHEID		
02262024		JUROR FEE	17.00
TOTAL FOR: MEGAN SCHEID			17.00
19136	EMILY SCHEIDER		
02262024		JUROR FEE	17.00
TOTAL FOR: EMILY SCHEIDER			17.00

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19137	DAVID SCHMIDT		
02262024		JUROR FEE	17.00
TOTAL FOR: DAVID SCHMIDT			17.00
19138	MATTHEW SCOTT		
02262024		JUROR FEE	17.00
TOTAL FOR: MATTHEW SCOTT			17.00
13609	ROB SCOTT		
03262024		HOCKEY REFEREE	246.00
TOTAL FOR: ROB SCOTT			246.00
19175	SOPHIA SCOTT		
03252024		I LOVE RO CONTEST MS DIV. 1ST PLACE	500.00
TOTAL FOR: SOPHIA SCOTT			500.00
16343	SEDGWICK		
115839		FMLA/ADAAA ADMINISTRATION SERVICES MAR 2024	1,019.64
TOTAL FOR: SEDGWICK			1,019.64
14948	CRYSTAL SHELLY		
02262024		JUROR FEE	17.00
TOTAL FOR: CRYSTAL SHELLY			17.00
03783	SHERWIN WILLIAMS		
6124-8		HIGHWAY PAINT	51.49
6149-5		FIELD PAINT	10.26
6162-8		FIELD PAINT	99.98
6165-1		SENIOR CTR SUPPLIES	46.02
TOTAL FOR: SHERWIN WILLIAMS			207.75
18488	JOSEPH L. SHREEMAN		
23RO08019 FNL		MIDC COUNSEL	330.00
TOTAL FOR: JOSEPH L. SHREEMAN			330.00
19143	SIGNING PROS LLC		
18026		INTERPRETER SERVICE	400.00
TOTAL FOR: SIGNING PROS LLC			400.00
14360	SIMBOL AUTO GLASS		
00095714		VEHICLE REPAIR & MAINTENANCE PARTS	320.00
00095715		VEHICLE REPAIR & MAINTENANCE PARTS	370.00
00095716		VEHICLE REPAIR & MAINTENANCE PARTS	850.00
TOTAL FOR: SIMBOL AUTO GLASS			1,540.00
19176	SHAELYNN SIMMS		
03252024		I LOVE RO CONTEST HS DIV. 3RD PLACE	250.00
TOTAL FOR: SHAELYNN SIMMS			250.00
16578	SMOKY'S FINE CIGARS #6 INC		
03202024		SMOKY'S FINE CIGARS - SIDEWALK CAFE REFUND	200.00
TOTAL FOR: SMOKY'S FINE CIGARS #6 INC			200.00
19139	SARAH SOBOLESKI		
02262024		JUROR FEE	17.00
TOTAL FOR: SARAH SOBOLESKI			17.00

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Vendor Code	Vendor Name	Description	Amount
Invoice			
01221	SOCRRA		
	S-INV107709	REFUSE, RECYCLING, YARD WASTE COLLECTION/DISPOSAL M	236,114.00
	S-INV107738	FEBRUARY 2024 SPECIAL WASTE	1,666.60
TOTAL FOR: SOCRRA			237,780.60
08771	ANDREW SOPER		
	03262024	HOCKEY REFEREE	55.00
TOTAL FOR: ANDREW SOPER			55.00
01228	SPARTAN DISTRIBUTORS INC		
	11892177	P&F EQUIPMENT REPAIR & MAINTENANCE SUPPLIES	154.19
	11892343	P&F EQUIPMENT REPAIR & MAINTENANCE SUPPLIES	71.17
TOTAL FOR: SPARTAN DISTRIBUTORS INC			225.36
RBOND	SPROUL, JENNIFER		
	BB46151	BD Bond Refund	625.00
TOTAL FOR: SPROUL, JENNIFER			625.00
19177	ISABELLA STADLER		
	03252024	I LOVE RO CONTEST ES DIV. 3RD PLACE	100.00
TOTAL FOR: ISABELLA STADLER			100.00
01259	STATE OF MICHIGAN		
	551-632811	SEX OFFENDER REGISTRATION FEE 2/29/24	150.00
	551-634040	HOMELAND SECURITY TRAINING CONF REGISTRATION/THEISE	400.00
	551-634110	HOMELAND SECURITY TRAINING CONF REGISTRATION/PLATT	400.00
TOTAL FOR: STATE OF MICHIGAN			950.00
16183	MICHAEL L. STEINBERG		
	1MARSCH24	MIDC COUNSEL	360.00
TOTAL FOR: MICHAEL L. STEINBERG			360.00
19163	STUCCHI'S		
	03222024	STUCCHI'S - SIDEWALK CAFE REFUND	200.00
TOTAL FOR: STUCCHI'S			200.00
07643	SUBURBAN ARENA MNGMT ROYAL OAK		
	1531	ARENA MANGEMENT W/E 3/17/24	30,414.72
TOTAL FOR: SUBURBAN ARENA MNGMT ROYAL OAK			30,414.72
02463	SUBURBAN FORD OF TROY		
	87685	REPAIRS	3,417.98
TOTAL FOR: SUBURBAN FORD OF TROY			3,417.98
08745	SUBURBAN ICE - FARMINGTON HILLS		
	1012023.002	HOCKEY PUCKS	902.00
	10120247.002	LACES - FIGURE	685.12
TOTAL FOR: SUBURBAN ICE - FARMINGTON HILLS			1,587.12
12607	SUPPLYDEN		
	517835-00	ARENA CLEANING SUPPLIES	177.09
TOTAL FOR: SUPPLYDEN			177.09
14433	ANAMARIA TET		
	03072024	INTERPRETER SERVICE, MILEAGE	104.74
TOTAL FOR: ANAMARIA TET			104.74

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Vendor Code	Vendor Name	Description	Amount
Invoice			
RBOND	THE ALAN GROUP		
	BB46018	BD Bond Refund	600.00
TOTAL FOR: THE ALAN GROUP			600.00
19140	THEODORE THEODOROFF		
	02262024	JUROR FEE	17.00
TOTAL FOR: THEODORE THEODOROFF			17.00
03545	THOMSON REUTERS - WEST		
	849806675	COURT ONLINE/SOFTWARE SUBSCRIPTION CHARGES	283.80
	849826122	COURT ONLINE/SOFTWARE SUBSCRIPTION CHARGES	496.75
	849882812	ATTORNEY SUBSCRIPTION PRODUCT CHARGES	664.00
TOTAL FOR: THOMSON REUTERS - WEST			1,444.55
17689	T-MOBILE USA, INC.		
	9561475774	POLICE TIMING ADVANCE 1/22-2/13 2024	25.00
	9561475775	POLICE TIMING ADVANCE 1/14-2/13 2024	25.00
TOTAL FOR: T-MOBILE USA, INC.			50.00
10845	TRANSUNION RISK AND ALTERNATIVE		
	916841-202402-1	COMPUTER/TELECOM EQUIP LEASES & RENTALS FEB 2024	318.40
TOTAL FOR: TRANSUNION RISK AND ALTERNATIVE			318.40
16835	TRI COUNTY EQUIPMENT		
	2227163	P&F TRACTOR MOWER DECK PARTS	77.64
TOTAL FOR: TRI COUNTY EQUIPMENT			77.64
RBOND	True North Facilities Services		
	BB46128	BD Bond Refund	300.00
TOTAL FOR: True North Facilities Services			300.00
RTAXX	TWENTY-TWO TITLE LLC		
	09/28/2022	REISSUE - 2022 SUM TAX REFUND 72-25-03-277-012	89.03
TOTAL FOR: TWENTY-TWO TITLE LLC			89.03
13627	UTEC		
	7787.64	PRINTER MAINTENANCE & SUPPORT 3/15-4/14 2024	7,787.64
TOTAL FOR: UTEC			7,787.64
03421	VAN HOUTTE BROTHERS		
	03232024	EBT/SNAP REIMBURSEMENT FARMERS MKT VENDOR	118.00
TOTAL FOR: VAN HOUTTE BROTHERS			118.00
05758	VANOVERBEKE, MICHAUD & TIMMONY, P.C		
	112068	CRO RETIREMENT SYSTEM LEGAL SERVICES 7/1-12/31 2023	1,105.00
	112069	CRO RETIREMENT HEALTH CARE LEGAL SERVICES 7/1-12/31	1,969.80
TOTAL FOR: VANOVERBEKE, MICHAUD & TIMMONY, P.C			3,074.80
18660	MARK VELLUCCI		
	03262024	HOCKEY REFEREE	82.00
TOTAL FOR: MARK VELLUCCI			82.00
16211	VERA ASIAN		
	03202024	VERA ASIAN - SIDEWALK CAFE REFUND	200.00
TOTAL FOR: VERA ASIAN			200.00
18965	VERMEER MIDWEST		
	E05530	PURCHASE OF TREE STUMP GRINDER	62,427.90
TOTAL FOR: VERMEER MIDWEST			62,427.90

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Vendor Code	Vendor Name	Description	Amount
	Invoice		
01407	VULCAN INC		
	R43231	SIGN MATERIALS	2,451.00
	R43232	DPS SIGN SHOP MATERIALS	745.00
TOTAL FOR: VULCAN INC			3,196.00
19141	ANGELICA WALIMAKI		
	02262024	JUROR FEE	17.00
TOTAL FOR: ANGELICA WALIMAKI			17.00
16086	JENNIFER WALLS		
	02262024	JUROR FEE	17.00
TOTAL FOR: JENNIFER WALLS			17.00
17285	ANNABELLE WEATHERS		
	011024	FARMERS MKT FOOD TRUCK RALLY ENTERTAINMENT APRIL 10	225.00
TOTAL FOR: ANNABELLE WEATHERS			225.00
01429	WEST SHORE FIRE REPAIR INC		
	32217	PURCHASE OF PARTS AS NEEDED	1,575.96
	32259	PURCHASE OF PARTS AS NEEDED	111.88
TOTAL FOR: WEST SHORE FIRE REPAIR INC			1,687.84
09738	WHITE PINE BLDG & DEVELOPMENT		
	2914 3/19/24	HOUSING REHAB	17,000.00
TOTAL FOR: WHITE PINE BLDG & DEVELOPMENT			17,000.00
11748	MARSHA WILEY		
	03132024	WATERCOLOR CLASS PARTIAL REFUND	48.00
TOTAL FOR: MARSHA WILEY			48.00
19169	KEVIN M. WILLS		
	KW001	SENIOR CTR JAZZ & VOCALS SHOW JUNE 18	225.00
TOTAL FOR: KEVIN M. WILLS			225.00
19178	GRAYSON WILSON		
	03252024	I LOVE RO CONTEST MS DIV. 2ND PLACE	250.00
TOTAL FOR: GRAYSON WILSON			250.00
19142	HARLAN WOLFE-RODRIGUEZ		
	02262024	JUROR FEE	17.00
TOTAL FOR: HARLAN WOLFE-RODRIGUEZ			17.00
RBOND	WOODS CONSTRUCTION INC		
	BB46147	BD Bond Refund	900.00
TOTAL FOR: WOODS CONSTRUCTION INC			900.00
19179	ANNA YOUNG		
	03252024	I LOVE RO CONTEST HS DIV. 1ST PLACE	750.00
TOTAL FOR: ANNA YOUNG			750.00
18401	PATRICIA LEE ZOPPI		
	5087	ROSES	101.25
	5091	ROSES	141.75
	6853	ROSES	101.25
TOTAL FOR: PATRICIA LEE ZOPPI			344.25
15921	JORDAN ZUPPKE, PLLC		
	1MARSCH24	MIDC COUNSEL	360.00
TOTAL FOR: JORDAN ZUPPKE, PLLC			360.00

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Vendor Code	Vendor Name		
	Invoice	Description	Amount
TOTAL - ALL VENDORS			2,536,354.46

PAYROLL #590PAYROLL DATE: 04/05/24**HUNTINGTON - PAYROLL**

DIRECT DEPOSIT \$801,563.92

PAPER CHECK

ADJUSTMENTS

\$801,563.92**ELECTRONIC MONEY TRANSFER - ACH**

IRS

FED. W/H 108,040.43
SOC SEC 82,004.56
MEDICARE 33,428.42223,473.41

STATE OF MICHIGAN TREASURY

42,858.85

FRIEND OF THE COURT

2,659.54

MISSIONSQUARE

140,532.03

NATIONWIDE

39,447.47

MERS

26,281.97

TASC

10,385.21**ACCOUNTS PAYABLE - CHECKS**

MICHIGAN EDUCATION TRUST

-

MISC DEDUCTIONS

991.56

UNION DUES

PSA 528.00
POA 3,172.00
Command 1,200.00
Detectives 490.00
DPS 3,062.40
Fire 6,254.61
TPOAM 1,575.00
Parking 132.0016,414.01**GRAND TOTAL****\$ 1,304,607.97**

Request for Purchase Order Approval

March 28, 2024

The Honorable Mayor Fournier and
Members of the City Commission:

If the city commission is in agreement, the following resolution to approve purchase orders is recommended:

Be it resolved, the city commission approves the following requisition/purchase orders for fiscal year 2023-24:

Requisition # R007752 change order
Vendor: NYE Uniform
Requesting approval for: \$5,000 additional for a total of \$145,000
Price Source: estimation
Budgeted: \$145,000
Department / Fund: police & fire / public safety
Description: uniforms for police & fire

Requisition # R008054 change order
Vendor: White Pine Bldg. & Development
Requesting approval for: \$200 additional for a total of \$78,875
Price Source: bid by Royal Oak
Budgeted: \$78,875
Department / Fund: housing assistance program / community develop block grant
Description: housing rehab

Requisition # R007963 change order
Vendor: Miller, Canfield, Paddock, and Stone
Requesting approval for: \$3,300 additional for a total of \$62,210
Price Source: estimation
Budgeted: \$62,210
Department / Fund: attorney / general
Description: services for a class action lawsuit

Requisition # R008305
Vendor: Daco Construction Inc.
Requesting approval for: \$39,000
Price Source: bid by Royal Oak
Budgeted: \$39,000
Department / Fund: housing assistance program / community develop block grant
Description: housing rehab

Requisition # R008294
Vendor: Superior Groundcover Inc.
Requesting approval for: \$32,500
Price Source: quote (lowest of 3)
Budgeted: \$32,500
Department / Fund: parks & forestry / general
Description: certified engineered wood fibar playground mulch

Requisition # R008293
Vendor: C-More Green Inc.
Requesting approval for: \$29,600
Price Source: quote (2nd lowest of 4 quotes)-vendor chosen because they focus more on athletic/sports complex services
Budgeted: \$29,600
Department / Fund: parks & forestry / general
Description: soccer field seeding for Normandy Oaks park, Upton park, & Quickstad park

Respectfully submitted,

Debra Peck-Lichtenberg
Finance Director

Approved,

Todd Fenton
Interim City Manager

Disposal of Surplus Property

March 28, 2024

The Honorable Mayor Fournier and
Members of the City Commission:

Please find below, city property that the administration is requesting to be declared as surplus and allowed for sale at auction. As a general procedure, any property that is not sold at auction will be recycled or thrown out.

Clerk:

- (20) Twenty metal ballot containers
- 2-drawer file cabinet

Library:

- (15) Fifteen chairs

If the city commission is in agreement, the following resolution is recommended for approval:

BE IT RESOLVED, the city commission declares the above property surplus and authorizes the disposal of the items by auction. Any net proceeds from the sale of items listed under “clerk” will be deposited into the general fund miscellaneous revenue account 101.000.67100.

BE IT RESOLVED, the city commission declares the above property surplus and authorizes the disposal of the items by auction. Any net proceeds from the sale of items listed under “library” will be deposited into the general fund miscellaneous revenue account 271.000.67100.

Respectfully submitted,

Debra Peck-Lichtenberg
Finance Director

Approved,

Todd Fenton
Interim City Manager

CITY COMMISSION AGENDA ITEM

Title	Approval of 2023-2025 Tentative Agreement between the City of Royal Oak and the Royal Oak Professional Fire Fighters Association, Local 431
SUBMITTING DEPARTMENT	Choose an item.
PRESENTER	Dennis Van de Laar
MEETING DATE	April 8, 2024
SECOND READING REQUIRED	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

EXECUTIVE SUMMARY *(include history of previous Commission action/discussion, background, scope of work, etc.):*

City administration and representatives of the Royal Oak Professional Firefighters Association, Local 431 entered into negotiations for a new collective bargaining agreement. The previous collective bargaining agreement expired June 30, 2023.

It is a two (2) year agreement which provides, amongst other items, wage increases reflective of the market. This includes a 4% increase retro-active to July 1, 2023, and an additional increase supported by roll-ins to be effective through June 30, 2025.

This agreement is the result of much hard work through multiple mediation sessions. We greatly appreciate the efforts of the union bargaining team in reaching this agreement.

Fiscal Impact

BUDGET SUMMARY	
EXPENDITURE REQUIRED	As per ratified agreement
AMOUNT CURRENTLY BUDGETED	
BUDGET AMENDMENT REQUIRED	TBD (BA between dept; net -0- effect on FB)
FUNDING SOURCE/ GL NUMBER	
WAS THIS A BUDGETED EXPENSE?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

OTHER FISCAL IMPACTS: (Select all that apply.)

☐ No fiscal impact

☐ Revenue impact (details below)

☐ Workload impact (details below)

☐ Operations Impact (details below)

REVENUE IMPACT: *Provide a description of how this item will impact revenue. (Is this item expected to create additional/new revenue? Will this item have a negative impact on revenue? Which funds would be impacted? Provide additional details, as necessary.)*

N/A

WORKLOAD IMPACT: *If this item will require staff time to implement, operate or maintain, provide a description of the workload impact. (Will more staff be needed? Is this workload able to be absorbed by existing staff? If new FTE(s) are needed, provide details of position classification and duties. Provide additional details, as necessary.)*

N/A

OPERATIONS IMPACT: *If the item requires a budget adjustment, please identify source of additional funds and any proposed cuts to other operations, programs and services.*

N/A

ALIGNMENT WITH COMMISSION APPROVED PLANS, POLICIES, AND PROGRAMS

Provide a description of how this item aligns with the strategic plan, aging in place plan, and sustainability and climate action plans. Include any specific goals or action steps it supports.

This aligns with the city's goals of being a safe, healthy and just city, as well as the priority of being an employer of choice.

COMMUNITY ENGAGEMENT

Provide a description of any community engagement efforts made for this item. Include information on tools used, participation information, and general sentiments.

N/A

BOARD AND COMMISSION FEEDBACK

Was an advisory board or commission engaged in discussion on this item? If yes, please provide a summary of feedback received:

N/A

LEGAL COMMENTS

N/A

PROPOSED COMMISSION RESOLUTION:

Be it resolved, the city commission hereby approves the 2023-2025 tentative agreement with the Royal Oak Fire Fighters, Local 431 dated March 7, 2024.

ATTACHMENTS:

_Fire 2023-2025 TA - Union Signed

**CITY OF ROYAL OAK
AND
PROFESSIONAL FIRE FIGHTERS,
LOCAL 431**

**EMPLOYER'S OFF-THE-RECORD COUNTER PROPOSAL THROUGH
THE MEDIATOR**

Tentative Agreement

March 7, 2024

- 1) Duration — 2 years
 - a. July 1, 2023 – June 30, 2024
 - b. July 1, 2024 – June 30, 2025
- 2) Wages – Section 16 B
 - a. July 1, 2023 — 4%, retroactive.
 - b. Market-based wage adjustment of \$725.60 effective upon ratification. (Applied after the 4% wage increase.)
 - c. Effective upon ratification, the uniform and cleaning allowance of \$725 will be rolled into base wage and those annual allowances will be eliminated moving forward.
 - d. July 1, 2024 (effective upon ratification) — 5% (Applied after the \$725 roll-in.)
 - e. The provisions in subsections b, c, and d would become effective the first full pay period after ratification by the City Commission.
- 3) Parental leave: The parties agree to continue to discuss this issue and it will be considered along with a city-wide policy.
- 4) Increase in number of paramedics in the ALS (Paramedic) Program

48.1 The City of Royal Oak recognizes that the provision of Advanced Life Support Services may be provided by the Royal Oak Fire Department. The City reserves the right to determine the number of Advanced Life Support (Paramedic) units, the number of paramedics, and the number of paramedics assigned to the program that shall be maintained as a part of the ALS program. The maximum number of assigned paramedics shall be ~~42~~ **48 of the 53.1 hour duty week that are licensed paramedics** effective upon ratification of this Agreement. The City also reserves the right to manage the program so as to provide a quality Advanced Life Support Service in the City of Royal Oak. It is recognized that members assigned to the paramedic program shall be cross trained as fire fighter/paramedics, shall be required to maintain their skills and qualification as fire fighters in addition to maintaining their paramedic licensure and shall perform any

firefighter and any ALS related activities. Effective July 1, 2016, Captains shall not be program paramedics. Captains who maintain their ALS license shall receive a yearly annual stipend of \$1,200 which is not includable in FAC. Effective July 1, 2021, for pension purposes, a member who is a program paramedic for a minimum period of two years immediately prior to promotion to the rank of Captain, shall have his/her ALS premium vested for pension purposes at their previous rank. EMS Coordinators shall receive an annual stipend of \$1,200 which is not includable in FAC.

5) The Union accepts item #9 from the City's Proposal (Holidays)

Add Juneteenth and Martin Luther King Day as a paid holiday for 40 -hour employees

43.0 — HOLIDAYS

43.1 Fire department personnel working a forty (40) hour duty week shall receive ~~fifteen~~ sixteen (16) paid Holidays. In addition, they shall receive annual compensation for 188.4 hours times their current hourly base wage. This payment shall be made by separate check in the full amount during the period between July 1st and July 31 each year during the life of this contract. The EMS Coordinator shall also be covered by this provision.

1. New Year's Day
2. Memorial Day
3. Independence Day
4. Labor Day
5. Thanksgiving Day
6. Christmas Eve
7. Christmas Day
8. New Year's Eve

9. Martin Luther King Day

10. Juneteenth

11. Seven (7) Six (6) Personal Business Days

43.7 Employees working the 53.1 hour duty work week shall receive pay or compensatory time for ~~two hundred fifty (250)~~ **two hundred seventy-four (274)** hours in lieu of Holidays per fiscal year.

6) Increase amount of personal property reimbursement

61.0 — PROPERTY LOSS REIMBURSEMENT

61.1 All employees shall be reimbursed for on-duty property loss capped at ~~\$100.00~~ **\$300.00** per item per year, upon presentation of paid receipts.

7) Increase in Union Business time off

9.3 (a) Officers and stewards of the Union shall be afforded time during regularly scheduled working hours without loss of pay to fulfill their employer/Union responsibilities including processing of grievances, administration, and enforcement of this Agreement.

(b) The Union shall be authorized to send elected delegate(s) with pay to attend conventions, conferences, or seminars relating to the administration of the collective bargaining agreement for up to a total of ~~seventy-two (72)~~ **one hundred forty-four (144)** hours per fiscal year. If more than one delegate is scheduled on duty on that day that such convention, conference, or seminar occurs, the delegate(s) will attempt to trade work days to avoid a short shift. The Union shall give to the Employer a list of such elected delegates and shall notify the Employer prior to such leave.

(c) Unused leave time authorized by subsection B shall accumulate from year to year, and shall remain available for use by elected Union delegates in the manner described above.

8) The Union agrees to the language changes in Section 23.3 and 37.2. (See attached)

9) Extend moratorium on 10% premium sharing and PA 152 opt-out provisions.

47.2 Hospital and Surgical Insurance

(c) Employees will pay ten percent (10%) of the premium per month for their healthcare choices. The payment will be adjusted at open enrollment in Spring each year thereafter. A member may select to have this deduction made on a pre-tax basis.

The payment will either be deducted evenly from every pay or from the first two pays of every month at the City's discretion. Retirees who are eligible for healthcare shall not be subject to premium sharing.

1. Employee contributions for premium sharing for healthcare including prescription drugs shall be reduced from 20% to 10%. The calculation of employee contributions will continue to be based on the illustrative rates. The City will opt out of PA 152 to allow the 10% employee contribution. This provision will take effect for the plan year beginning April 2019.

2. The 10% premium sharing and PA 152 opt-out provisions in #1 above will continue for the succeeding contract and will not be subject to change or negotiations by either party, however, the moratorium on these issues shall expire on ~~June 30, 2023~~. June 30, 2025.

10) The Union accepts item #13 (LOA on Staffing) in return for the Employer's withdrawal of items #10 (Cadet Program) and #11 (Hiring Basic EMTs, up to 6). are withdrawn.

Letter of Agreement

The City of Royal Oak, (hereinafter, "City") and the Royal Oak Fire Fighters Union, Local 431, (hereinafter, "Union") are parties to a collective bargaining agreement for the period July 1, 2023 — June 30, 2025, further as a condition of that Agreement the Parties have agreed to the terms as set forth in this Letter of Agreement;

Now therefore the Parties agree to the following:

1. The City hereby agrees to maintain a 14-person daily minimum staffing up until June 30, 2026.
2. If the City wishes to reduce staffing below fourteen after June 30, 2026, the City will announce that decision to the Union 90 days before the decision takes effect.
3. The City hereby agrees that the promotional positioned as outlined in Parties' Collective Bargaining Agreement in Article 23, Section 4 shall remain in effect through June 30, 2026.
4. Within the 90-day period referenced above, the Union and the City agree to meet to negotiate over the effects of the staffing reduction to develop policies and procedures to protect firefighter safety.
5. The Union acknowledges that so long as the City provides a 90-day notice period and bargaining the effects of the decision, as stated in 3 and 4 above, the City has the right to reduce the daily staffing below fourteen, and that neither Section 6.3 nor any other section of the contract restricts that right.



SCOTT LOVEDAY, PRESIDENT L-431

Inspector Promotional Language (23.3)

Fire Inspector: Fire Captains, Fire Lieutenants, and Fire Sergeants with greater than 2 years in grade. If there are not at least 3 candidates, then the process will open to all Fire Sergeants. If there are still not enough candidates, the process will open to all firefighters in seniority order until there are at least 3 candidates.

Educational Requirements: FO I & II, BluCard online training.

Process: An application process shall be initiated 120 days prior to expiration or exhaustion of the current eligibility list. Applicants shall apply in writing using the form provided by the City. Copies of all relevant educational documents shall be included with the application. A written test shall be administered by EMPCO, or a mutually agreed upon testing agency. Testing materials will be mutually agreed upon by both parties and identified and provided to the employee no later than 60 days prior to the exam date. If the parties cannot come to an agreement on testing materials, the matter shall be decided by the Fire Civil Service Commission. 70% shall be considered a passing score. All candidates who achieve a passing score on the written exam shall be placed on the promotional list in seniority order. Each time a vacant Fire Inspector position is filled, it shall be offered to the first person on the list. This list shall be approved by the Fire Civil Service Commission, and shall have a duration of 2 years.

Fire Inspector II: The position of Fire Inspector II shall be filled by the current Fire Inspector I when a vacancy opens. If the promotion cannot be filled by the Fire Inspector I, then Fire Captains, Fire Lieutenants, and Fire Sergeants with greater than 2 years in grade will be eligible to apply. If there are not at least 3 candidates, then the process will open to all Fire Sergeants. If there are still not enough candidates, the process will open to all firefighters in seniority order until there are at least 3 candidates.

Educational Requirements: FO I & II, BluCard online training.

Process: An application process shall be initiated 120 days prior to expiration or exhaustion of the current eligibility list. Applicants shall apply in writing using the form provided by the City. Copies of all relevant educational documents shall be included with the application. A written test shall be administered by EMPCO, or a mutually agreed upon testing agency. Testing materials will be mutually agreed upon by both parties and identified and provided to the employee no later than 60 days prior to the exam date. If the parties cannot come to an agreement on testing materials, the matter shall be decided by the Fire Civil Service Commission. 70% shall be considered a passing score. All candidates who achieve a passing score on the written exam shall be placed on the promotional list in seniority order. Each time a vacant Fire Inspector position is filled, it shall be offered to the first person on the list. This list shall be approved by the Fire Civil Service Commission, and shall have a duration of 2 years.

EMS Coordinator: Fire Captains, Fire Lieutenants, and Fire Sergeants with greater than 2 years in grade. If there are not at least 3 candidates, then the process will open to Fire Sergeants. If there are still not enough candidates, the process will open to all firefighters in seniority order until there are at least 3 candidates.

Educational Requirements: FO I & II, BluCard online training.

Process: An application process shall be initiated 120 days prior to expiration of the current eligibility list. Applicants shall apply in writing using the form provided by the City. Copies of all relevant educational documents shall be included with the application. A written test shall be administered by EMPCO, or a mutually agreed upon testing agency. Testing materials will be mutually agreed upon by both parties and identified and provided to the employee no later than 60 days prior to the exam date. If the parties cannot come to an agreement on testing materials, the matter shall be decided by the Fire Civil Service Commission. 70% shall be considered a passing score. All candidates who achieve a passing score on the written exam shall be placed on the promotional list in seniority order. Each time a vacant EMS Coordinator is filled, it shall be offered to the first person on the list. Once selected, if the candidate is not IC (Instructor/Coordinator) certified, he/she shall attempt to gain IC status within one year or as soon as training is available. This list shall be approved by the Fire Civil Service Commission, and shall have a duration of 2 years.

Fire Marshal: The position of Fire Marshal shall be filled by the current Fire Inspector II when a vacancy opens. In the event the position of Fire Marshal cannot be filled by the Fire Inspector II, **the vacancy shall be filled by the current, or most senior Fire Inspector I. In the event the position cannot be filled by the Fire Inspector II or I positions,** the top three eligible candidates as determined by seniority in grade who apply for the position shall be required to sit for a written test administered by EMPCO, or a mutually agreed upon testing agency. Applicants shall apply in writing using the form provided by the City. Copies of all relevant educational documents shall be included with the application. Testing materials will be mutually agreed upon by both parties and identified and provided to the employee no later than 60 days prior to the exam date. If the parties cannot come to an agreement on testing materials, the matter shall be decided by the Fire Civil Service Commission. 70% shall be considered a passing score. All candidates who achieve a passing score on the written exam shall be placed on the promotional list in seniority order. Each time a vacant position of Fire Marshal is filled, it shall be offered to the first person on the list if there is no Fire Inspector, or the Fire Inspector does not accept the promotion. This list shall be approved by the Fire Civil Service Commission, and shall have a duration of 2 years.

23.4 All promotional vacancies created pursuant to retirement, termination, death or resignation shall be filled within thirty (30) days from the appropriate promotional eligibility list in effect at the time the vacancy is created.

Vacancies to be filled through the promotional procedure shall be maintained at not less than the following:

Fire Captains (3)
(1)

Fire Marshal (1)

Assistant Chief

Fire Lieutenants (6)

Fire Inspector (1)

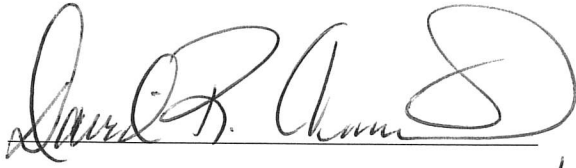
Fire Sergeants (9)
(1)

EMS Coordinator

37.2 The parties agree that the person holding Fire Inspection I & II, and Fire Marshal positions should be certified. Therefore, the City agrees to grant current job occupants an opportunity to become certified as soon as practicable, and all future members holding such positions will make every reasonable effort to become certified within one year of their appointment at City time and expense. ~~Certification shall govern promotion from Fire Inspector I to Fire Inspector II. When the Fire Inspector obtains his/her Fire Inspector II certification, he/she shall provide documentation of completion, then his/her promotion to Inspector II shall be processed.~~

CITY OF ROYAL OAK

ROYAL OAK PROFESSIONAL FIRE
FIGHTERS ASSOCIATION, LOCAL 431



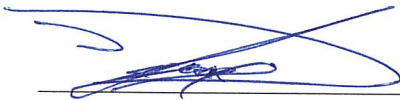
By: DAVID CUMMINS

Date: 3/7/24



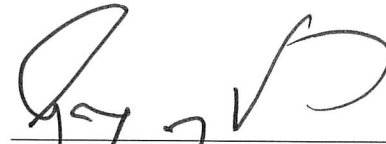
By: SCOTT LOVEDAY

Date: 3/7/24



By: DENNIS VAN DER LAAR

Date: 3/7/24

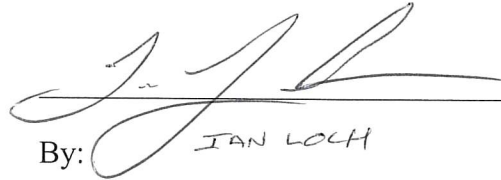


By: GREGORY VICK

Date: 3-7-24

By:

Date:



By:

IAN LOCH

Date:

3/7/24

CITY COMMISSION AGENDA ITEM

Title	Publicly Funded Health Insurance Contribution Under Public Act 152 of 2011 Resolution
SUBMITTING DEPARTMENT	City Attorney
PRESENTER	Niccolas Grochowski, City Attorney
MEETING DATE	April 8, 2024
SECOND READING REQUIRED	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

EXECUTIVE SUMMARY:

The Publicly Funded Health Insurance Contribution Act (PA 152 of 2011) limits the amount a public employer can pay towards employee medical benefit plans. A public employer that offers or contributes to a medical benefit plan for its employees has three options:

1. Without any affirmative action, establish a “hard cap” (a maximum dollar amount that the employer may pay towards an employee’s annual health care costs).
2. By a majority vote of its governing body, establish an 80 percent employer and 20 percent employee cost-sharing model.
3. By a two-thirds vote of its governing body, be exempt from the requirements of the Act and fund employee health care in some other manner.

Since 2017, the City of Royal Oak has elected to comply with the requirements of Act 152 by opting out (option 3). It is recommended to continue this policy as it has served the city and employees well and is required by agreements with the bargaining units in the City already approved by the City Commission. If the City Commission agrees, a two-thirds vote of the entire City Commission is required for approval of the proposed Resolution.

Fiscal Impact

BUDGET SUMMARY	
EXPENDITURE REQUIRED	
AMOUNT CURRENTLY BUDGETED	
BUDGET AMENDMENT REQUIRED	\$0.00 (BA between dept; net -0- effect on FB)
FUNDING SOURCE/ GL NUMBER	
WAS THIS A BUDGETED EXPENSE?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

OTHER FISCAL IMPACTS: (Select all that apply.)

- ☒ No fiscal impact
☐ Workload impact (details below)

☐ Revenue impact (details below)
☐ Operations Impact (details below)

REVENUE IMPACT: *Provide a description of how this item will impact revenue. (Is this item expected to create additional/new revenue? Will this item have a negative impact on revenue? Which funds would be impacted? Provide additional details, as necessary.)*

WORKLOAD IMPACT: *If this item will require staff time to implement, operate or maintain, provide a description of the workload impact. (Will more staff be needed? Is this workload able to be absorbed by existing staff? If new FTE(s) are needed, provide details of position classification and duties. Provide additional details, as necessary.)*

OPERATIONS IMPACT: *If the item requires a budget adjustment, please identify source of additional funds and any proposed cuts to other operations, programs and services.*

ALIGNMENT WITH COMMISSION APPROVED PLANS, POLICIES, AND PROGRAMS

Provide a description of how this item aligns with the strategic plan, aging in place plan, and sustainability and climate action plans. Include any specific goals or action steps it supports.

Strategic Plan, Efficient and Effective Services – Being an employer of choice that offers flexibility and creative operating solutions. Employee support and retention.

COMMUNITY ENGAGEMENT

Provide a description of any community engagement efforts made for this item. Include information on tools used, participation information, and general sentiments.

BOARD AND COMMISSION FEEDBACK

Was an advisory board or commission engaged in discussion on this item? If yes, please provide a summary of feedback received:

LEGAL COMMENTS

PROPOSED COMMISSION RESOLUTION:

WHEREAS, the Publicly Funded Health Insurance Contribution Act (Public Act 152 of 2011) was passed by the Michigan Legislature in 2011 to limit the amount a public employer can pay towards employee medical benefit plans; and

WHEREAS, Michigan municipalities are given three options for complying with the requirements of PA152; and

NOW, THEREFORE BE IT RESOLVED, the city commission elects to comply with the requirements of the Publicly Funded Health Insurance Contribution Act (Public Act 152 of 2011) by continuing to opt-out by adopting the opt-out cost-sharing model as set forth in PA152.

ATTACHMENTS:

None

CITY COMMISSION AGENDA ITEM

Title	License Agreement for Temporary Construction Storage at 3530 Coolidge Highway
SUBMITTING DEPARTMENT	Community Development - Engineering
PRESENTER	Holly Donoghue, P.E.
MEETING DATE	April 8, 2024
SECOND READING REQUIRED	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

EXECUTIVE SUMMARY

Each year the city oversees various construction projects throughout the city for sidewalks, roads, water main and sewer improvements. Contractors often request use of city land for temporary storage of equipment, vehicles and construction materials as a cost saving measure that benefits the City. Audia Construction, Inc. was awarded two construction contracts for 2024, and has requested to use a portion of the gravel lot located at the southeast corner of Starr Road and Edgar Avenue (3530 Coolidge Highway).

The Department of Public Services has historically permitted this type of use on this gravel lot which can accommodate the use of the northeast quadrant of an approximately a 100-foot by 100-foot area.

A license agreement is provided as Attachment 1 which indemnifies the city from claims arising out of the licensee's temporary use of city property and requires the licensee to provide insurance coverage indemnifying the city for the temporary use. The agreement also makes the licensee responsible for the maintenance, dust control and final restoration of the site. The contractor is required to remove all materials during Dream Cruise weekend when this lot is heavily used for storage. The city attorney has drafted and approved the license agreement as to form.

Staff anticipates using this agreement each year, and requests permission from the city commission to administratively approve construction storage within this lot by using the same terms and conditions set forth in Attachment 1.

Fiscal Impact

BUDGET SUMMARY	
EXPENDITURE REQUIRED	\$0.00
AMOUNT CURRENTLY BUDGETED	\$0.00
BUDGET AMENDMENT REQUIRED	\$0.00
FUNDING SOURCE/ GL NUMBER	n/a
WAS THIS A BUDGETED EXPENSE?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

OTHER FISCAL IMPACTS: (Select all that apply.)

☒ No fiscal impact
☐ Workload impact (details below)

☐ Revenue impact (details below)
☐ Operations Impact (details below)

ALIGNMENT WITH COMMISSION APPROVED PLANS, POLICIES, AND PROGRAMS

In a small way, approval of this license agreement helps the city provide reliable infrastructure to its residents by streamlining the construction process.

COMMUNITY ENGAGEMENT

Not applicable.

BOARD AND COMMISSION FEEDBACK

Not applicable.

LEGAL COMMENTS

Legal drafted and approved proposed License Agreement.

PROPOSED COMMISSION RESOLUTION:

Be it resolved, the Royal Oak City Commission hereby approves the license agreement with Audia Construction, Inc. for construction storage at 3530 Coolidge Highway during the 2024 construction season;

Be it further resolved, the Mayor and City Clerk are authorized to execute said license agreement;

Be it finally resolved, the Royal Oak City Commission hereby authorizes the Director of Public Services and City Engineer to administratively approve and execute future license agreements for construction storage within the gravel lot at 3530 Coolidge Highway for companies awarded City construction contracts.

ATTACHMENTS:

1. License Agreement for Construction Storage at 3530 Coolidge Highway

LICENSE AGREEMENT

This Agreement is entered into this _____ day of _____, 20____ between the City of Royal Oak, a Michigan Municipal Corporation with offices at 203 S. Troy St., Royal Oak, Michigan 48067 (the "Licensor") and Audia Construction, Inc., whose address is 2985 Childs Lake Road, Milford, Michigan 48381, (the "Licensee")

WHEREAS, the Licensor owns a certain parcel of property known as Memorial Park Parking Lot (the "Property") located in the City of Royal Oak, Michigan, South of Starr Road, between Coolidge Highway and Edgar Avenue; and

WHEREAS, the Licensee desires to use a portion of the Property on a temporary basis as a staging area to park vehicles and store equipment and materials necessary to fulfill existing construction contracts executed between the Licensee and Licensor; and

WHEREAS, the Licensor is agreeable to allowing the Licensee to temporarily park vehicles and store equipment and materials on the Property as provided in this Agreement;

NOW, THEREFORE, the Licensor and the Licensee agree as follows:

1. The Licensor hereby authorizes and licenses the Licensee to enter and use the Property for the limited purpose of parking vehicles and storing equipment and materials necessary to fulfill existing construction contracts between the Licensee and Licensor.
2. Licensee agrees that all vehicles, equipment and materials shall be limited at all times to the Northeast corner of the Property, identified herein as the area immediately South of Starr Road and West of Edgar Avenue. Vehicles, equipment and materials shall be maintained in a manner that utilizes the minimum area of the Property as practicable and shall not at any time occupy more than 10,000 square feet of the Northeast corner of the property.
3. Licensee use of the Property shall not interfere with public recreation areas adjacent to and supported by the Property or interfere with public use of such recreation areas.
4. The Property must be cleared of all vehicles, materials and equipment and restored to previously existing conditions by Monday August 12, 2024, at 7:00am and shall not be used again by Licensee until Wednesday August 21, 2024.
5. Licensee shall arrange for appropriate dust control upon request of the Licensor, including providing tarps, spraying with water, or as otherwise directed by the Licensor.
6. The Licensee agrees not to make any physical alterations to the Property, including the installation of any structures of a permanent or temporary nature, the planting of any plants, or removal of any plants, wildlife or any items of any nature whatsoever from the Property. The Licensee shall take all reasonable measures to ensure the preservation of the Property and appurtenances therein, and prevent the damage or destruction of the Property while using the Property.
7. Licensor may enter the Property at any time for the purpose of maintenance, compliance, inspection or any other purpose deemed necessary by the Licensor.
8. Licensor may terminate the Agreement at any time without cause.
9. Upon vacating the property, the Licensee shall restore the property to preexisting conditions, including providing additional stone and grading or other remedial measures as needed. Final restoration shall be complete no later than November 15, 2024.

10. Licensee agrees that no bailment is created by this Agreement, and Licensor will not be responsible for any losses, theft or damages to any such vehicles, equipment, materials or any other property.
11. Licensee may not display or erect any signs on the Property without prior written approval of the Licensor.
12. To the fullest extent permitted by law, the Licensee agrees to indemnify, defend and hold harmless the City, including its elected and appointed officials, all employees and volunteers, all boards, commissions and/or authorities and their board members, employees and volunteers, from any and all claims, demands and rights of action of every name, nature and description, whether arising under state or Federal statutes, or at common law, for injury, alleged injury or death to persons whether employees of the City, or agents or employees of the Licensee, or to third parties, and for damage or alleged damage to property regardless of to whom it may belong or in whose custody it may be, arising through, on account of, or out of the permission to enter and use the Property herein granted, no matter how caused, whether by the negligence of the City, its agents, employees or otherwise. The Licensee agrees that in case a claim is made, or a suit is instituted against the City for such loss, injury or damage, the Licensee will, upon notice from the City, settle, adjust, or defend the same at its sole cost and expense, without expense to the City, and shall pay any judgment rendered therein, including any court costs. The Licensee also waives any right of recovery it has, now or later, against the City for any loss or damage arising out of the use of the City's property and/or the encroachments.
13. As a condition precedent to the use of the City owned Property by Licensee for the purposes outlined in this Agreement, the City shall be added as a named insured to the Licensee's general liability insurance policy. The Licensee shall carry insurance coverage in the minimum amount of one million dollars (\$1,000,000.00) for general liability. Umbrella coverage in the amount of one million dollars (\$1,000,000.00) may also be used if the general liability coverage is less than one million dollars (\$1,000,000.00). Furthermore, the Licensee agrees to reimburse the City for any deductible costs or claims expenses arising from any claims or suits filed against the City.

The Licensee shall provide to the City, as the Certificate Holder, a Certificate of Insurance for the use period, with an additional insured on the certificate of insurance that shall read as follows:

"City of Royal Oak, including all elected and appointed officials, all employees and volunteers, all boards, commissions and/or authorities and their board members, employees and volunteers."

The cancellation notice on the certificate of insurance must read as follows:

"Should any of the above-described policies be cancelled before the expiration date thereof, notice of cancellation will be provided to the Certificate Holder in accordance with the provisions of the policy."

14. Nothing in this Agreement shall be deemed to expand or restrict the rights that the City may or may not have relative to its use of the Property, other than the terms as set forth in this Agreement.
15. The Licensee acknowledges that the Property described herein is and shall always remain the property of the Licensor. The Licensee acknowledges that they are forever precluded from claiming adverse possession or any other legal interest whatsoever in the Property described herein against the Licensor. This Agreement shall not run with the land and is only permission to enter upon the Property for the purposes stated in this Agreement and shall grant no right or interest in any manner to the Licensee to the Property.

16. This License shall be governed and construed under the laws of the State of Michigan, excluding its choice of law principles.

IN WITNESS WHEREOF, and intending to be legally bound hereby, the parties have caused this Agreement to be duly executed as of the day and year first above written.

LICENSOR - CITY OF ROYAL OAK

LICENSEE – AUDIA CONSTRUCTION, INC.

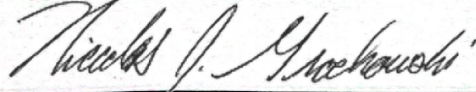
By: Michael Fournier, Mayor

By:
Its:

By: Melanie Halas, Clerk

By:

Approved as to form:



Niccolas Grochowski
City Attorney

CITY COMMISSION AGENDA ITEM

Title	Approval of License Agreement for Use of Park
SUBMITTING DEPARTMENT	Department of Public Service - Recreation
PRESENTER	Aaron Filipski, Director of Public Services and Recreation
MEETING DATE	April 8, 2024
SECOND READING REQUIRED	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

EXECUTIVE SUMMARY *(include history of previous Commission action/discussion, background, scope of work, etc.):*

Recently, it was brought to the attention of the city by our insurance carrier that an educational organization ([Firefly Nature Programs](#)) was utilizing Tenhave Woods for enrichment programming for children. This commercial use of the city's park was unknown to the appropriate city staff. Although a beneficial and appropriate use of the city's park system, the commercial nature of the use requires the city to have appropriate safeguards in place to limit any potential liability or exposure to the city from this type of use of city parks.

Consequently, the city contacted the ownership of Firefly Nature Programs, and they have been extremely cooperative in our efforts to implement our requested safeguards to enable them to continue to use the park for their programming. As such, attached is an executed License Agreement that provides the city with adequate release and indemnification together with appropriate insurance coverage with the city as the policy holder and additional insured.

Based on the License Agreement and provided insurance, it is recommended that the city commission approve the License Agreement and authorize the Mayor and Clerk to execute the license agreement so that the organization can continue to offer its services and educational programming to children utilizing Tenhave Woods.

Fiscal Impact

BUDGET SUMMARY	
EXPENDITURE REQUIRED	
AMOUNT CURRENTLY BUDGETED	
BUDGET AMENDMENT REQUIRED	\$0.00 (BA between dept; net -0- effect on FB)
FUNDING SOURCE/ GL NUMBER	
WAS THIS A BUDGETED EXPENSE?	<input type="checkbox"/> Yes <input type="checkbox"/> No

OTHER FISCAL IMPACTS: (Select all that apply.)

☒ No fiscal impact

☐ Workload impact (details below)

☐ Revenue impact (details below)

☐ Operations Impact (details below)

REVENUE IMPACT: *Provide a description of how this item will impact revenue. (Is this item expected to create additional/new revenue? Will this item have a negative impact on revenue? Which funds would be impacted? Provide additional details, as necessary.)*

None.

WORKLOAD IMPACT: *If this item will require staff time to implement, operate or maintain, provide a description of the workload impact. (Will more staff be needed? Is this workload able to be absorbed by existing staff? If new FTE(s) are needed, provide details of position classification and duties. Provide additional details, as necessary.)*

None.

OPERATIONS IMPACT: *If the item requires a budget adjustment, please identify source of additional funds and any proposed cuts to other operations, programs and services.*

None.

ALIGNMENT WITH COMMISSION APPROVED PLANS, POLICIES, AND PROGRAMS

Provide a description of how this item aligns with the strategic plan, aging in place plan, and sustainability and climate action plans. Include any specific goals or action steps it supports.

“Welcoming, Engaged and Livable Community” from the city’s strategic plan.

COMMUNITY ENGAGEMENT

Provide a description of any community engagement efforts made for this item. Include information on tools used, participation information, and general sentiments.

None.

BOARD AND COMMISSION FEEDBACK

Was an advisory board or commission engaged in discussion on this item? If yes, please provide a summary of feedback received:

The license agreement was presented to the Parks and Recreation Advisory Board at its April 4, 2024 meeting, which affirmed the staff recommendation to present it to the City Commission for approval.

LEGAL COMMENTS

PROPOSED COMMISSION RESOLUTION:

BE IT RESOLVED, the Royal Oak City Commission hereby approves the license agreement between the city and Firefly Nature Programs and authorizes the Mayor and City Clerk to execute the Agreement on behalf of the City.

ATTACHMENTS: License Agreement; Insurance Certificate

LICENSE AGREEMENT

This Agreement is entered into this 20th day of March, 2024 between the City of Royal Oak, a Michigan Municipal Corporation with offices at 203 S. Troy St., Royal Oak, Michigan 48067 (the "Licensor") and, Firefly Nature Programs, L.L.C. a Michigan Limited Liability Company, whose address is 629 Laprairie Street, Ferndale, Michigan, 48220, (the "Licensee")

WHEREAS, the Licensor owns a certain parcel of park property known as Tenhave Woods at Quickstad Park (the "Property") located in the City of Royal Oak, Michigan, at Normandy Road and Custer Ave; and

WHEREAS, the Licensee desires to use the Property on Tuesdays and Thursdays to provide nature-based learning experiences for children through its enrichment programming at various nature preserves in South East Michigan; and

WHEREAS, the Licensor is agreeable to allowing the Licensee and its students to enter and use the park Property owned by the Licensor for educational enrichment programming as provided in this Agreement;

NOW, THEREFORE, the Licensor and the Licensee agree as follows:

1. The Licensor hereby authorizes and licenses the Licensee and its students to enter and use the Property for the purpose of conducting its enrichment programming on Tuesday and Thursday mornings.
2. The Licensee agrees not to make any physical alterations to the Property, including the installation of any structures of a permanent or temporary nature, the planting of any plants, or removal of any plants, wildlife or any items of any nature whatsoever from the Property. The Licensee shall take all reasonable measures to ensure the preservation of the Property and the wildlife therein, and prevent the damage or destruction of the Property while using the Property.
3. Licensor may terminate the Agreement at any time without cause.
4. To the fullest extent permitted by law, the Licensee agrees to indemnify, defend and hold harmless the City, including its elected and appointed officials, all employees and volunteers, all boards, commissions and/or authorities and their board members, employees and volunteers, harmless from any and all claims, demands and rights of action of every name, nature and description, whether arising under state or Federal statutes, or at common law, for injury, alleged injury or death to persons whether employees of the City, or agents or employees of the Licensee, or to third parties, and for damage or alleged damage to property regardless of to whom it may belong or in whose custody it may be, arising through, on account of, or out of the permission to enter and use the Property herein granted, no matter how caused, whether by the negligence of the City, its agents, employees or otherwise. The Licensee agrees that in case a claim is made, or a suit is instituted against the City for such loss, injury or damage, the Licensee will, upon notice from the City, settle, adjust, or defend the same at its sole cost and expense, without expense to the City, and shall pay any judgment rendered therein, including any court costs. The Licensee also waives any right of recovery it has, now or later, against the City for any loss or damage arising out of the use of the City's property and/or the encroachments.
5. As a condition precedent to the use of the City owned park by Licensee for commercial educational purposes, the City shall be added as a named insured to the Licensee's general liability insurance policy. The Licensee shall carry insurance coverage in the minimum

amount of one million dollars (\$1,000,000.00) for general liability. Umbrella coverage in the amount of one million dollars (\$1,000,000.00) may also be used if the general liability coverage is less than one million dollars (\$1,000,000.00). Furthermore, the Licensee agrees to reimburse the City for any deductible costs or claims expenses arising from any claims or suits filed against the City.

The Licensee shall provide to the City, as the Certificate Holder, a Certificate of Insurance for the use period, with an additional insured on the certificate of insurance that shall read as follows:

"City of Royal Oak, including all elected and appointed officials, all employees and volunteers, all boards, commissions and/or authorities and their board members, employees and volunteers."

The cancellation notice on the certificate of insurance must read as follows:

"Should any of the above-described policies be cancelled before the expiration date thereof, notice of cancellation will be provided to the Certificate Holder in accordance with the provisions of the policy."

6. Nothing in this Agreement shall be deemed to expand or restrict the rights that the City may or may not have relative to its use of the Property, other than the terms as set forth in this Agreement.
7. The Licensee acknowledges that the Property described herein is and shall always remain the property of the Licensor. The Licensee acknowledges that they are forever precluded from claiming adverse possession or other legal interest in the Property described herein against the Licensor. This Agreement shall not run with the land and is only permission to enter upon the Property to conduct educational programing and shall grant no right or interest in any manner to the Licensee to the Property.

IN WITNESS WHEREOF, and intending to be legally bound hereby, the parties have caused this Agreement to be duly executed as of the day and year first above written.

LICENSOR - CITY OF ROYAL OAK

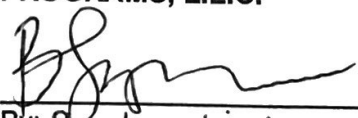
By: Michael Fournier, Mayor

By: Melanie Halas, Clerk

Approved as to form:

Nicolas Grochowski
City Attorney

**LICENSEE - FIREFLY NATURE
PROGRAMS, L.L.C.**

By: 
Its: Bailey Lininger
Owner

By:



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
03/13/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER
FL Dean Tom Wojciechowski
12800 UNIVERSITY DR STE 125
FORT MYERS, FL 33907-5335

CONTACT
NAME:PHONE
(A/C, No, Ext): 8007452409FAX
(A/C, No):E-MAIL
ADDRESS: Tom.Wojciechowski@fdean.com

INSURER(S) AFFORDING COVERAGE

NAIC #

INSURER A : Clear Blue Specialty Insurance Company

37745

INSURER B : Great American Insurance Company

16691

INSURER C :

INSURER D :

INSURER E :

INSURER F :

INSURED
Firefly Nature Programs, LLC dba Firefly Forest School
629 LAPRAIRIE ST
FERNDAL, MI 48220-3218

COVERAGES

CERTIFICATE NUMBER:

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY	X		DB01-000027-00	07/20/2023 12:00 AM	07/20/2024 12:01 AM	EACH OCCURRENCE
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY						\$1,000,000
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR						FIRE DAMAGE (Any one fire)
	<input checked="" type="checkbox"/> HOST LIQUOR LIABILITY INCLUDED						\$300,000
	GEN'L AGGREGATE LIMIT APPLIES PER:						MED EXP (Any one person)
	<input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC						\$0
	AUTOMOBILE LIABILITY						PERSONAL & ADV INJURY
	<input type="checkbox"/> ANY AUTO						\$1,000,000
	<input type="checkbox"/> ALL OWNED AUTOS						GENERAL AGGREGATE
	<input type="checkbox"/> HIRED AUTO						\$1,000,000
	<input type="checkbox"/> SCHEDULED AUTOS						PRODUCTS - COMP/OP AGG
	<input type="checkbox"/> NON-OWNED AUTOS						\$1,000,000
	<input type="checkbox"/>						
	<input type="checkbox"/>						
	UMBRELLA LIAB						COMBINED SINGLE LIMIT (Ea accident)
	<input type="checkbox"/> OCCUR						
	<input type="checkbox"/> CLAIMS-MADE						BODILY INJURY (Per person)
	EXCESS LIAB						BODILY INJURY (Per accident)
	<input type="checkbox"/>						PROPERTY DAMAGE (Per accident)
	DED <input type="checkbox"/> RETENTION \$ <input type="checkbox"/>						
B	Accident/Medical Coverage			BSR-F036803-00	07/20/2023 12:00 AM	07/20/2024 12:01 AM	AD&D MAXIMUM MEDICAL DEDUCTIBLE
							\$2,500 \$10,000 \$100

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

Covered Activities: Enrichment Programs at Tenhave Woods, Royal Oak, Michigan.

Additional insured extension of coverage is provided by above referenced General Liability policy to City of Royal Oak, including all elected and appointed officials, all employees and volunteers, all boards, commissions and/or authorities and their board members, employees and volunteers

Scheduled Activities Exclusion Applies-Please Refer to Named Insured Member Certificate of Coverage

CERTIFICATE HOLDER

City of Royal Oak
203 S Troy St
Royal Oak, MI 48067

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Francis L. Dean

Receive and File
American Rescue Plan Act Enabled Project Funding Report
For the Quarter Ended March 31, 2024

April 1, 2024

The Honorable Mayor Fournier and
Members of the City Commission:

In an ongoing effort to provide fully transparent reporting on the use of the American Rescue Plan Act (ARPA) funding received by the city, totaling \$28,107,502, we are providing this report of expenditures and encumbrances through March 31, 2024 (Attachment 1).

Background

The American Rescue Plan Act (ARPA) was signed into law by President Joseph Biden in March 2021. Pursuant to ARPA, the city's direct allocation of \$28,107,502.00 can be spent on four broad eligible uses:

1. To respond to the COVID-19 public health emergency and its negative impacts;
2. To provide premium pay for essential workers;
3. To make necessary water, sewer, and broadband infrastructure investments; and
4. To provide government services to the extent of eligible governments' revenue losses.

On September 28, 2022, leaders representing Royal Oak's business, academic, and non-profit communities attended a listening session hosted by city staff and shared their perspectives as to the desired use of these funds. The city also commissioned a mailed survey from Cobalt Community Research in September 2022, and held an open house on October 5, 2022, to further solicit community feedback. The results of this community engagement were presented to the city commission at a working session on November 29, 2022.

On February 27, 2023, based on the public feedback received and the strategic goals of the city, the city commission adopted an ARPA allocation plan. This plan provides a roadmap to guide the use of this one-time source of funding. On May 30, 2023, the city commission took the further step to formally obligate all remaining unspent ARPA funds toward the provision of government services per federal grant guidelines.

Authorization to Spend

While the adopted ARPA allocation plan provides the framework for how these funds are expected to be used, authorization to spend or encumber must be further approved by the city commission through adopting the annual budget and budget amendments, and approvals of contracts, purchase orders, and claims.

Using this Report

The attached report incorporates the proposed expenditures from the adopted ARPA allocation plan and gives the spending summary, by project. This report will be issued on a quarterly basis until the ARPA allocation is fully expended. The following is an explanation of some of the terms used in the report:

Cumulative Expenditures through December 31, 2023 – actual amount expended, or paid, as of the end of the prior fiscal quarter.

Additional Expenditures for the Quarter ended March 31, 2024 – actual amount expended from January 1, 2024 through March 31, 2024. Note: These amounts may include the transfers that occurred during the quarter to reimburse other funds for qualifying expenditures incurred by those other funds in prior periods.

Additional Funds Encumbered but not yet Expended as of March 31, 2024 – the spending of these funds has been approved by the city commission and purchase orders have been issued to the vendor. These amounts are considered fully committed for this purpose and are no longer available for other projects or uses.

Cumulative Expenditures and Encumbrances through March 31, 2024 – total amount of ARPA funding that has been spent and/or fully committed through the end of the reporting quarter.

Remaining Balance of Obligated Funds as of March 31, 2024 – based on the ARPA allocation plan adopted by the city commission on February 27, 2023 (and any subsequent plan amendments that may occur), this column reflects the roadmap of how future ARPA spending is planned. Because these funds have not yet been expended or committed through contracts or purchase orders, these balances may be reallocated by a future action of the city commission. This provides maximum flexibility as the plan moves forward to ensure these ARPA funds are spent according to the community priorities and to leverage opportunities to pair these funds with additional sources of grants, when available, creating an even greater community benefit.

Activity to Date

During the quarter ending March 31, 2024, ARPA funds were used to further these initiatives:

	Expended January 1, 2024 – March 31, 2024
1(a) Green infrastructure – Rochester Road rain gardens and water main	\$318,700.00
1(f) Lead water pipe replacements	\$2,142,162.70
1(g) Water main improvements	\$1,204,000.00
1(h) SMART bus stop accessibility upgrades	\$88,727.60
1(m) Hudson Park improvements	\$363,693.00
2(b) Farmers Market restrooms (design phase)	\$6,000.00
2(c) IT upgrades	\$74.71
2(g) Storage Area Deconstruction	\$8,644.50
6(a) Royal Oak Civic Center COVID-19 overruns	\$279,798.50
6(b) Animal Shelter build-out (soft costs)	\$10,636.00
6(d) Library IT upgrades	\$1,356.53
7(a) ARPA Administration - Guidehouse	\$2,868.75
Total	\$4,426,662.29
Expenditures prior to January 1, 2024	\$7,189,832.07
Cumulative Expenditures through March 31, 2024	\$11,616,494.36

Respectfully submitted,
Debra Peck-Lichtenberg
Finance Director

Approved,

Todd Fenton
Interim City Manager

1 Attachment

ATTACHMENT 1

Report of ARPA Enabled Project Funding For the Quarter Ended March 31, 2024

AMERICAN RESCUE PLAN ACT (ARPA)				
CURRENT AND PROPOSED EXPENDITURES				
Total Allocation of Funds, per plan adopted Feb. 27, 2023	Subsequent Commission approved Modifications to Allocation Plan	Total Approved Allocation of Funds, as of March 31, 2024	Expended/ Encumbered through March 31, 2024	Remaining Balance of Allocated Funds as of March 31, 2024
\$ 28,107,502.00	\$ -	\$ 28,107,502.00	\$ 14,200,500.05	\$ 13,907,001.95
\$ 11,713,300.00	\$ 600,862.60	\$ 12,314,162.60	\$ 5,023,146.30	\$ 7,291,016.30
\$ 1,478,070.69	\$ 28,899.08	\$ 1,506,969.77	\$ 357,387.77	\$ 1,149,582.00
\$ 1,800,000.00	\$ 14,000.00	\$ 1,814,000.00	\$ 314,000.00	\$ 1,500,000.00
\$ 310,000.00	\$ -	\$ 310,000.00	\$ -	\$ 310,000.00
\$ 2,050,000.00	\$ 10,000.00	\$ 2,060,000.00	\$ 60,000.00	\$ 2,000,000.00
\$ 5,501,798.58	\$ 2,561,250.00	\$ 8,063,048.58	\$ 7,812,434.50	\$ 250,614.08
\$ 443,312.53	\$ -	\$ 443,312.53	\$ 443,312.53	\$ -
\$ 190,218.95	\$ -	\$ 190,218.95	\$ 190,218.95	\$ -
\$ 23,486,700.75	\$ 3,215,011.68	\$ 26,701,712.43	\$ 14,200,500.05	\$ 12,501,212.38
\$ 4,620,801.25	\$ (3,215,011.68)	\$ 1,405,789.57	\$ -	\$ 1,405,789.57

PROPOSED EXPENDITURES			Cumulative Expenditures through December 31, 2023	Remaining Balance of Obligated Funds as of December 31, 2023	Additional Expenditures for the Quarter Ended March 31, 2024	Additional Funds Encumbered but not yet Expended as of March 31, 2024	Cumulative Expenditures and Encumbrances through March 31, 2024	Remaining Balance of Obligated Funds as of March 31, 2024
ITEM 1: INVESTMENTS IN INFRASTRUCTURE								
Expected Completion	Description	Total						
2023	1(a) Green infrastructure - Rochester Road Rain Gardens and Water Main	\$ 318,700.00	\$ -	\$ 318,700.00	\$ 318,700.00	\$ -	\$ 318,700.00	\$ -
2024	1(b) Green infrastructure - Dondero and Sheffield	\$ 200,000.00	\$ -	\$ 200,000.00	\$ -	\$ -	\$ -	\$ 200,000.00
2025 - 2026	1(c) Green infrastructure (location TBD / two projects)	\$ 400,000.00	\$ -	\$ 400,000.00	\$ -	\$ -	\$ -	\$ 400,000.00
2024	1(d) Green infrastructure / water main - Arden Place and Grandview Road	\$ 913,000.00	\$ -	\$ 913,000.00	\$ -	\$ -	\$ -	\$ 913,000.00
2024-2026	1(e) VFW Park green infrastructure improvements	\$ 1,100,000.00	\$ -	\$ 1,100,000.00	\$ -	\$ -	\$ -	\$ 1,100,000.00
2023-26	1(f) Lead water pipe replacements	\$ 3,600,000.00	\$ -	\$ 3,600,000.00	\$ 2,142,162.70	\$ -	\$ 2,142,162.70	\$ 1,457,837.30
2023 - 2025	1(g) Water main improvements	\$ 3,612,000.00	\$ -	\$ 3,612,000.00	\$ 1,204,000.00	\$ -	\$ 1,204,000.00	\$ 2,408,000.00
2024	1(h) SMART bus stop accessibility upgrades	\$ 88,727.60	\$ -	\$ 88,727.60	\$ 88,727.60	\$ -	\$ 88,727.60	\$ -
2025	1(i) Library solar upgrades	\$ 362,000.00	\$ -	\$ 362,000.00	\$ -	\$ -	\$ -	\$ 362,000.00
2024	1(j) LED Streetlight conversion (city owned)	\$ 400,000.00	\$ -	\$ 400,000.00	\$ -	\$ -	\$ -	\$ 400,000.00
2024	1(k) LED Streetlight conversion (DTE owned)	\$ 550,000.00	\$ 499,821.00	\$ 50,179.00	\$ -	\$ -	\$ 499,821.00	\$ 50,179.00
2022-2023	1(l) Tree Canopy Restoration Program	\$ 406,042.00	\$ 406,042.00	\$ -	\$ -	\$ -	\$ 406,042.00	\$ -
2024	1(m) Hudson Park Improvements	\$ 363,693.00	\$ -	\$ 363,693.00	\$ 363,693.00	\$ -	\$ 363,693.00	\$ -
Total Proposed - Investments in Infrastructure		\$ 12,314,162.60	\$ 905,863.00	\$ 11,408,299.60	\$ 4,117,283.30	\$ -	\$ 5,023,146.30	\$ 7,291,016.30

			Cumulative Expenditures through December 31, 2023	Remaining Balance of Obligated Funds as of December 31, 2023	Additional Expenditures for the Quarter Ended March 31, 2024	Additional Funds Encumbered but not yet Expended as of March 31, 2024	Cumulative Expenditures and Encumbrances through March 31, 2024	Remaining Balance of Obligated Funds as of March 31, 2024
PROPOSED EXPENDITURES								
ITEM 2: ELIGIBLE INVESTMENTS IN PUBLIC BUILDINGS AND TECHNOLOGY								
Expected Completion	Description	Total						
2023 2(a) Farmers Market generator	\$ 200,000.00	\$ 200,000.00	\$ -	\$ 200,000.00	\$ -	\$ -	\$ -	\$ 200,000.00
2023 2(b) Farmers Market restrooms	\$ 750,000.00	\$ 750,000.00	\$ 31,989.00	\$ 718,011.00	\$ 6,000.00	\$ -	\$ 37,989.00	\$ 712,011.00
2024 2(c) City IT infrastructure upgrade	\$ 22,000.00	\$ 22,000.00	\$ 21,925.29	\$ 74.71	\$ 74.71	\$ -	\$ 22,000.00	\$ -
2024 2(d) Matching Grant funding (Oakland County Senior Center ARPA grant)	\$ 237,571.00	\$ 237,571.00	\$ -	\$ 237,571.00	\$ -	\$ -	\$ -	\$ 237,571.00
2023 2(e) Addition of wifi to Orson Starr home	\$ 8,296.27	\$ 8,296.27	\$ 2,951.03	\$ 5,345.24	\$ -	\$ 5,345.24	\$ 8,296.27	\$ -
2023 2(f) OpenGov Budget Software - Effective Service Delivery	\$ 120,838.00	\$ 120,838.00	\$ 112,817.86	\$ 8,020.14	\$ -	\$ 8,020.14	\$ 120,838.00	\$ -
2024 2(g) Storage Area Deconstruction	\$ 168,264.50	\$ 168,264.50	\$ 156,870.00	\$ 11,394.50	\$ 8,644.50	\$ 2,750.00	\$ 168,264.50	\$ -
Total Proposed - Eligible Investments in Public Buildings		\$ 1,506,969.77	\$ 326,553.18	\$ 1,180,416.59	\$ 14,719.21	\$ 16,115.38	\$ 357,387.77	\$ 1,149,582.00
PROPOSED EXPENDITURES								
ITEM 3: NONPROFIT FUNDING TO SUPPORT COMMUNITY PROGRAMMING								
Expected Completion	Description	Total						
2023 3(a) Revenue loss driven (estimate 6 x \$50,000 grants)	\$ 314,000.00	\$ 314,000.00	\$ 314,000.00	\$ -	\$ -	\$ -	\$ 314,000.00	\$ -
2026 3(b) YMCA Community Center	\$ 1,500,000.00	\$ 1,500,000.00	\$ -	\$ 1,500,000.00	\$ -	\$ -	\$ -	\$ 1,500,000.00
Total Proposed - Non-Profit Funding to Support Community Programming		\$ 1,814,000.00	\$ 314,000.00	\$ 1,500,000.00	\$ -	\$ -	\$ 314,000.00	\$ 1,500,000.00
PROPOSED EXPENDITURES								
ITEM 4: PREMIUM PAY FOR ESSENTIAL WORKERS (Police and Fire)								
Expected Completion	Description	Total						
2023 4(a) Premium pay (cannot exceed \$25,000 per worker), \$2000 x 155 people	\$ 310,000.00	\$ 310,000.00	\$ -	\$ 310,000.00	\$ -	\$ -	\$ -	\$ 310,000.00
Total Proposed - Premium Pay for Essential Workers (Police & Fire)		\$ 310,000.00	\$ -	\$ 310,000.00	\$ -	\$ -	\$ -	\$ 310,000.00
PROPOSED EXPENDITURES								
ITEM 5: AFFORDABLE HOUSING								
Expected Completion	Description	Total						
2023-2026 5(a) Financial assistance to develop new affordable housing	\$ 2,000,000.00	\$ 2,000,000.00	\$ -	\$ 2,000,000.00	\$ -	\$ -	\$ -	\$ 2,000,000.00
2023-2026 5(b) Rental assistance	\$ 60,000.00	\$ 60,000.00	\$ 58,580.83	\$ 1,419.17	\$ -	\$ 1,419.17	\$ 60,000.00	\$ -
Total Proposed - Affordable Housing		\$ 2,060,000.00	\$ 58,580.83	\$ 2,001,419.17	\$ -	\$ 1,419.17	\$ 60,000.00	\$ 2,000,000.00

			Cumulative Expenditures through December 31, 2023	Remaining Balance of Obligated Funds as of December 31, 2023	Additional Expenditures for the Quarter Ended March 31, 2024	Additional Funds Encumbered but not yet Expended as of March 31, 2024	Cumulative Expenditures and Encumbrances through March 31, 2024	Remaining Balance of Obligated Funds as of March 31, 2024
PROPOSED EXPENDITURES								
ITEM 6: CITY REVENUE LOSS COVID-19 REIMBURSEMENT								
Expected Completion	Description	Total						
N/A	6(a) Royal Oak Civic Center COVID-19 overruns	\$ 279,798.58	\$ -	\$ 279,798.58	\$ 279,798.50	\$ -	\$ 279,798.50	\$ 0.08
2024	6(b) Animal Shelter Build-out (soft costs)	\$ 200,000.00	\$ -	\$ 200,000.00	\$ 10,636.00	\$ -	\$ 10,636.00	\$ 189,364.00
2023-2024	6(d) Library IT upgrades	\$ 22,000.00	\$ 694.50	\$ 21,305.50	\$ 1,356.53	\$ 19,948.97	\$ 22,000.00	\$ -
2022-2023	6(e) FY 2022-2023 Budget	\$ 4,000,000.00	\$ 4,000,000.00	\$ -	\$ -	\$ -	\$ 4,000,000.00	\$ -
2022-2023	6(f) Parking Fund Transfer	\$ 1,000,000.00	\$ 1,000,000.00	\$ -	\$ -	\$ -	\$ 1,000,000.00	\$ -
2023-2024	6(g) Mental Health Co-Response Team	\$ 61,250.00	\$ -	\$ 61,250.00	\$ -	\$ -	\$ -	\$ 61,250.00
2023-2024	6(h) Parking Fund Transfer	\$ 2,500,000.00	\$ -	\$ 2,500,000.00	\$ -	\$ 2,500,000.00	\$ 2,500,000.00	\$ -
Total Proposed - City Revenue Loss COVID-19 Reimbursement		\$ 8,063,048.58	\$ 5,000,694.50	\$ 3,062,354.08	\$ 291,791.03	\$ 2,519,948.97	\$ 7,812,434.50	\$ 250,614.08
PROPOSED EXPENDITURES								
ITEM 7: PUBLIC ENGAGEMENT AND ADMINISTRATION OF ARPA FUNDS								
Expected Completion	Description	Total						
2026	7(a) ARPA Administration - Guidehouse	\$ 421,612.53	\$ 372,221.61	\$ 49,390.92	\$ 2,868.75	\$ 46,522.17	\$ 421,612.53	\$ -
2022-2023	7(b) ARPA Community Outreach - Siren Communications	\$ 15,000.00	\$ 15,000.00	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
2022-2023	7(c) ARPA Community Outreach Survey - Cobalt	\$ 6,700.00	\$ 6,700.00	\$ -	\$ -	\$ -	\$ 6,700.00	\$ -
Total Proposed - Public Engagement and Administration of ARPA Funds		\$ 443,312.53	\$ 393,921.61	\$ 49,390.92	\$ 2,868.75	\$ 46,522.17	\$ 443,312.53	\$ -
PROPOSED EXPENDITURES								
ITEM 8: AID TO TOURISM, TRAVEL OR HOSPITALITY								
Expected Completion	Description	Total						
2021	8(a) Arts, Beats & Eats 2021 Festival Grant	\$ 80,000.00	\$ 80,000.00	\$ -	\$ -	\$ -	\$ 80,000.00	\$ -
2022	8(b) Arts, Beats & Eats 2022 Festival Grant	\$ 60,000.00	\$ 60,000.00	\$ -	\$ -	\$ -	\$ 60,000.00	\$ -
2022-2023	8(c) Library PPE purchases	\$ 218.95	\$ 218.95	\$ -	\$ -	\$ -	\$ 218.95	\$ -
2023	8(d) Arts, Beats & Eats 2023 Festival Grant	\$ 50,000.00	\$ 50,000.00	\$ -	\$ -	\$ -	\$ 50,000.00	\$ -
Total Proposed - Aid to Tourism, Travel or Hospitality		\$ 190,218.95	\$ 190,218.95	\$ -	\$ -	\$ -	\$ 190,218.95	\$ -
TOTAL ALL PROPOSED EXPENDITURES		\$ 26,701,712.43	\$ 7,189,832.07	\$ 19,511,880.36	\$ 4,426,662.29	\$ 2,584,005.69	\$ 14,200,500.05	\$ 12,501,212.38
REMAINING ALLOCATION OBLIGATED FOR THE PROVISION OF GOVERNMENT SERVICES (Specific use to be appropriated by future action of City Commission)		\$ 1,405,789.57	\$ -	\$ 1,405,789.57	\$ -	\$ -	\$ -	\$ 1,405,789.57
TOTAL ARPA ALLOCATION		\$ 28,107,502.00	\$ 7,189,832.07	\$ 20,917,669.93	\$ 4,426,662.29	\$ 2,584,005.69	\$ 14,200,500.05	\$ 13,907,001.95

CITY COMMISSION AGENDA ITEM

Title	Approval of Special Event Permit – Royal Oak Pride
SUBMITTING DEPARTMENT	Police Department
PRESENTER	Chief Michael Moore
MEETING DATE	April 8, 2024
SECOND READING REQUIRED	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

EXECUTIVE SUMMARY *(include history of previous Commission action/discussion, background, scope of work, etc.):*

The Royal Oak Pride Committee, in partnership with the Royal Oak Farmers Market, has requested authorization to hold Royal Oak Pride 2024, beginning Friday July 26, 2024, through Saturday July 27, 2024. The event would utilize Centennial Commons Park, Farmer's Market, the City Hall parking lot, and the closure of Troy Street and Third Street. The event would require an entry fee of \$10 per person at the four entry gates after 5:00 p.m. each day.

Royal Oak Pride would invite the LGBTQ+ community members, businesses, allies, and organizations to come together to celebrate diversity and inclusion. The two-day event would include live music on two stages, three bars, artists, food trucks, Pride partners, and vendors.

Fiscal Impact

BUDGET SUMMARY	
EXPENDITURE REQUIRED	
AMOUNT CURRENTLY BUDGETED	
BUDGET AMENDMENT REQUIRED	\$0.00 (BA between dept; net -0- effect on FB)
FUNDING SOURCE/ GL NUMBER	
WAS THIS A BUDGETED EXPENSE?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

OTHER FISCAL IMPACTS: (Select all that apply.)

- ☐ No fiscal impact
☐ Workload impact (details below)

☐ Revenue impact (details below)
☐ Operations Impact (details below)

REVENUE IMPACT: *Provide a description of how this item will impact revenue. (Is this item expected to create additional/new revenue? Will this item have a negative impact on revenue? Which funds would be impacted? Provide additional details, as necessary.)*

WORKLOAD IMPACT: *If this item will require staff time to implement, operate or maintain, provide a description of the workload impact. (Will more staff be needed? Is this workload able*

to be absorbed by existing staff? If new FTE(s) are needed, provide details of position classification and duties. Provide additional details, as necessary.)

The event footprint and anticipated overall crowd size is more than double from the prior two years this event has occurred. Due to these increases, the police detail and resources will also double throughout the duration of the event.

OPERATIONS IMPACT: *If the item requires a budget adjustment, please identify source of additional funds and any proposed cuts to other operations, programs and services.*

ALIGNMENT WITH COMMISSION APPROVED PLANS, POLICIES, AND PROGRAMS

Provide a description of how this item aligns with the strategic plan, aging in place plan, and sustainability and climate action plans. Include any specific goals or action steps it supports.

1.5b – Welcoming, Engaged, and Livable Community – Hosting and supporting events that celebrate diversity in all of its forms.

COMMUNITY ENGAGEMENT

Provide a description of any community engagement efforts made for this item. Include information on tools used, participation information, and general sentiments.

N/A

BOARD AND COMMISSION FEEDBACK

Was an advisory board or commission engaged in discussion on this item? If yes, please provide a summary of feedback received:

N/A

LEGAL COMMENTS

PROPOSED COMMISSION RESOLUTION:

If the city commission agrees, the following resolution is recommended for approval:

Be it resolved, the mayor and city clerk are hereby authorized to execute the agreement between the City of Royal Oak and The Royal Oak Pride Committee for the Royal Oak Pride event to take place on Friday, July 26, 2024, through Saturday, July 27, 2024.

ATTACHMENTS:

SEP 24-10



**Approval of Special Event Permit
Royal Oak Pride July 26 and 27, 2024**

March 25, 2024

The Honorable Mayor and
Members of City Commission:

The Royal Oak Pride Committee, partnered with the Royal Oak Farmers Market, has requested authorization to hold Royal Oak Pride 2024, beginning Friday July 26, 2024, through Saturday July 27, 2024. The event would utilize Centennial Commons Park, Farmers Market, the City Hall parking lot, and the closure of Troy Street and Third Street. The event would require an entry fee of \$10 per person at the four entry gates after 5:00 p.m. each day.

City staff had discussions involving details of the event with Shelly Mazur of the Royal Oak Pride Committee. Listed below are the specifics of a proposed agreement between the City of Royal Oak and the Royal Oak Pride Committee.

I. Hours of Operation:

Royal Oak Pride would take place on Friday, July 26, 2024, from 3:00 p.m. to 11:00 p.m. and Saturday, July 27, 2024, from 11:00 a.m. to 11:00 p.m.

Set-up for the event would begin on Thursday, July 25, 2024, at 9:00 a.m., along with street closures for event set-up. Streets would re-open no later than 12:00 p.m. on Sunday, July 28, 2024.

Clean up procedures would take place immediately after the conclusion of the event each night and be completed by 12:00 p.m. on Sunday, July 28, 2024.

This event will be free until 5:00 p.m. each day and then charge a \$10 fee per person from 5:00 p.m. until close.

II. Description of Event:

Royal Oak Pride would invite the LGBTQ+ community members, businesses, allies, and organizations to come together to celebrate diversity and inclusion. The two-day event would include live music on two stages, three bars, artists, food trucks, Pride partners, and vendors.

The proposed event would be set up utilizing the Farmers Market west lot, Royal Oak City Hall south lot, Troy Street between Third Street and East 11 Mile Road, and Third Street between Williams Street and the Royal Oak City Hall south entry point. The entire event area would be secured with natural barriers, existing fencing, and temporary fencing so that access to the event would be limited to four entrances: Second Street between Henry Ford Medical Center and the Royal Oak Library; Third Street and Williams Street; the east main doors of the Royal Oak Farmer's Market and Second Street between Royal Oak City Hall and the Royal Oak Farmer's Market.

Food trucks, food vendors, as well as the sale of alcoholic and non-alcoholic beverages would be requested.

The organizer estimates approximately 100 vendors and 15,000 to 20,000 people attending the two-day event.

III. Parking/ Traffic Control/ Street Closures:

Parking would be available for attendees of the event in the surrounding surface parking lots, parking structures, and nearby on-street metered parking.

Affected streets and parking lots for this event, along with closure and re-opening dates and times, are as follows:

Parking Lot Closures:

9:00 a.m. on Thursday July 25, 2024

- Farmers Market west lot
- City Hall south parking lot

Street Closure:

9:00 a.m. on Thursday July 25, 2024

- Troy Street between East 11 Mile Road and Third Street
- Third Street between Williams Street and City Hall's south exit/entrance

Parking Lot Re-Openings:

12:00 p.m. on Sunday July 28, 2024

- Farmers Market west lot
- City Hall south parking lot

Street Re-Openings:

12:00 p.m. on Sunday July 28, 2024

- Troy Street between East 11 Mile Road and Third Street
- Third Street between Williams Street and City Hall's south exit/entrance

Royal Oak DPS will assist with street closures utilizing type three barricades, archer barricades, and the MP5000 mobile/hydraulic barricade for event safety and security.

IV. Security

The organizer would have adequate security and staff assigned to manage and protect the event. Access in and out of the event area would be limited to four locations: Third Street at Williams Street; Second Street between Henry Ford Medical Center and the Royal Oak Library; Second Street between Royal Oak City Hall and the Royal Oak Farmer's Market; and the east doors of the Royal Oak Farmer's Market.

V. Crowd Control

For purpose of crowd control, security, and traffic direction, the Royal Oak Police Department would maintain a detail consisting of four police officers and one police supervisor from event opening until closing each day of the event. Royal Oak

auxiliary officers would be requested to assist with the event.

This detail will be in place throughout the duration of the event, to be assigned at the discretion of the Chief of Police. The organizer agrees that they would be responsible for any city staff costs associated with this event.

The event footprint and anticipated overall crowd size is more than double from the prior two years this event has occurred. Due to these increases, the police detail and resources will also double throughout the duration of the event.

VI. Insurance

A certificate of insurance will be provided to the city by the Royal Oak Pride Committee with the City of Royal Oak named as additional insured by June 1, 2024.

VII. Reimbursement to the City

Department of Public Services

The organizer would request Royal Oak DPS provide 15 refuse containers with liners and 8 picnic tables to be placed throughout the entire event area. The organizer would also request access to hydrants with hook ups for water. The organizer requests the use of type one and type three traffic barricades to support the requested street closures. In addition, the organizer requests Royal Oak DPS provide mobile vehicle barricades to protect the event participants.

Police Protection

For purpose of crowd control, security, and traffic direction activity, the Royal Oak Police Department would maintain a detail consisting of four police officers and one police supervisor from event opening until closing each day of the event.

This detail would be in place throughout the duration of the event, to be assigned at the discretion of the Chief of Police. The organizer would agree that they would be responsible for any city staff costs associated with this event. The standard cost of one police officer is \$101.83 per hour and one police supervisor is \$117.85 per hour. The event organizer would agree they are responsible for any city staff costs associated with this event.

The Royal Oak Pride Committee will reimburse the city for all event-related expenses incurred by the city including personnel and the distribution of notices sent to all residences affected by the street closings required for this event. This includes all supplies, postage, and employee time associated with the notification.

Royal Oak Auxiliary Officers would be requested to assist with both security, crowd control, and traffic barricades.

The event footprint and anticipated overall crowd size is more than double from the prior two years this event has occurred. Due to these

increases, the police detail and resources will also double throughout the duration of the event.

Parking Revenue

The closure of the Farmers Market west lot, Royal Oak City Hall south lot, and the listed roadways over the course of the event would affect the following use of city-owned parking spaces during the event.

Troy Street between East 11 Mile Road and Third Street: 22 spaces.

Third Street from Williams Street to the City Hall south entrance: 31 spaces.

Royal Oak Farmer's Market west lot: 41 spaces.

Royal Oak City Hall south lot: 28 spaces.

The estimated total parking expense is \$9,150 for the event.

VIII. Impact on Adjacent Commercial & Residential Properties

The organizer anticipates a positive impact on adjacent residential, commercial, and retail properties due to this event.

All residents and businesses affected by the street closure would be notified in writing of the date, time, and location of the specific street and lot closures to avoid problems associated with these closures. This notification would be sent on Royal Oak Police Department letterhead and the organizer agrees to reimburse the City of Royal Oak for all costs associated with this mailing including postage, envelopes, paper, and labor.

IX. Restroom Facilities

The event organizer would place multiple portable restrooms for attendees within the footprint of the event. Portable restrooms would be removed after the conclusion of the event.

X. Booths / Tents / Awnings

The organizer would plan on erecting approximately eighty 10' x 10' tents for the event within the event footprint and weighed down with thirty-pound weights on each leg of the tent.

Event organizer would plan on the placement of two portable stages within the event footprint for live music. One stage (32' x 15') would be placed in the Farmers Market west lot facing south with a (22' wide x 12' high) wind screen backdrop and (22' x 15') framed vinyl cover. The second stage (24' x 12') will be in Centennial Commons Park facing southeast.

The organizer would be responsible for obtaining all appropriate building permits through the City of Royal Oak Building Department at least two weeks in advance of this event.

XI. Picnic Tables / Refuse Barrels / Barricades

The organizer would request barricades for street closures at East 11 Mile Road/Troy Street, Third Street/Troy Street, Third Street/ Williams Street, Third Street at the City Hall south entrance/exit, and in the south lot of the City Hall parking lot.

The event organizer would also request 15 refuse barrels with liners and 8 picnic tables. The event organizer and staff would be responsible for collecting and removing all trash from the event at its conclusion.

XII. Clean-Up Procedures

Clean-up procedures would take place continually throughout the event. Final clean-up and break down would begin immediately after the event completion and be completed by 12:00 p.m. on Sunday, July 28, 2024.

In the event the city is required to perform any clean-up after this event, The Royal Oak Pride Committee agrees to reimburse the city for any related expense incurred by city employees.

XIII. Food and Beverages

Food trucks will be located inside the footprint for attendees to purchase food items and non-alcoholic beverages. There will also be several vendors selling alcoholic beverages inside the footprint. The sale of beer, wine, and various cocktails will be available to those 21 years of age and older and sold inside the venue.

Security and staff will closely monitor the crowd to identify visibly impaired individuals. Alcoholic beverages will be restricted to the inner footprint of the event. No alcohol will be permitted outside of the event footprint, nor any patrons be allowed to enter the event with any alcoholic beverages.

The organizer will have a bar in the Farmer's Market west parking lot on the southeast side, a bar inside the Farmer's Market, and a bar in Centennial Commons Park on the northwest side.

The organizer acknowledges they are responsible for contacting the Michigan Liquor Control Commission and Oakland County Health Department to secure all permits required from the state and county for this event.

XIV. Electrical Service

The organizer would request electrical access from streetlamps along Troy Street/Third Street and will have generators on site. The organizer will utilize the Royal Oak Farmers Market and Centennial Commons Park power grids for electricity.

XV. Music

Live amplified music would be provided by the event organizer on two portable stages. The event organizer would request music from 3:00 p.m. to 11:00 p.m. on Friday, July 26, 2024, and 11:00 a.m. to 11:00 p.m. on Saturday, July 27, 2024.

The organizer acknowledges any live and/or recorded sound system with amplification at this event would not be employed at such a level that adversely impacts in any way on adjacent businesses or residential areas. In addition, it is agreed the sound volume would be reduced immediately upon police request.

XVI. Special Event Permit Fee

The \$125.00 special event permit fee was paid at the city clerk's office January 22, 2024.

XVII. Fire Protection

Event promoters will provide full access to this area for emergency vehicles to allow entry response for fire, medical emergency, or police related needs.

XVIII. Revocation

The Royal Oak Pride Committee acknowledges operations of this event will cease immediately upon notification from the chief of police or his designee if, in the judgment of the chief of police or designee, the continued operation will pose a threat to the health, safety, or welfare of the public.

XIX. Cost Recovery History

2022- \$7,203.02

2023- \$10,625.37

If the city commission agrees, the following resolution is recommended for approval:

Be it resolved, the mayor and city clerk are hereby authorized to execute the agreement between the City of Royal Oak and The Royal Oak Pride Committee for the Royal Oak Pride event to take place on Friday, July 26, 2024, through Saturday, July 27, 2024.

Respectfully submitted,

Michael Moore
Chief of Police

Approved,

Todd Fenton
Interim City Manager

1 Attachment

cc: Todd Fenton, Interim City Manager
Niccolas Grochowski, City Attorney
Tim Thwing, Director of Community Development
Aaron Filipski, Director of Recreation and Public Service
Dave Cummins, Fire Chief
Debra Lichtenburg, Finance Director
Jaynmarie Hubanks, Treasurer
Jason Craig, Building Official
Keith Spencer, Deputy Police Chief
Patrick Stanton, Deputy Police Chief
Judy Davids, Community Engagement Specialist
Richard Wilson, Cable Coordinator WROK

AGREEMENT

The agreement between The Royal Oak Pride Committee and the City of Royal Oak concerning the Royal Oak Pride festival on Friday, July 26, 2024, and Saturday, July 27, 2024, as enumerated in Commission Letter # SEP 24-10 is hereby approved on this date, April 8, 2024.

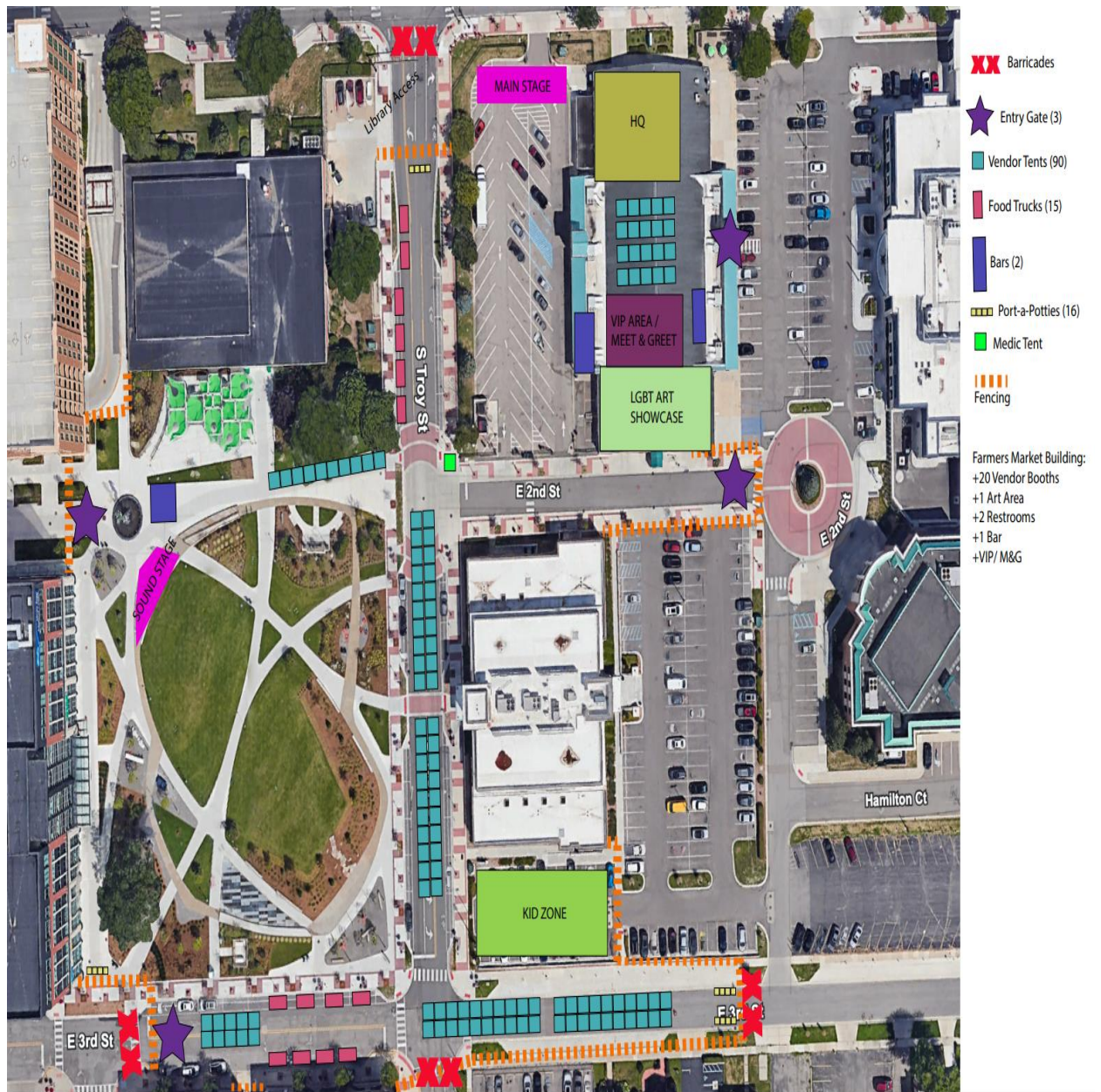
THE ROYAL OAK PRIDE COMMITTEE

CITY OF ROYAL OAK

Shelly Mazur
Event Coordinator

Michael Fournier
Mayor

Melanie Halas
City Clerk



CITY COMMISSION AGENDA ITEM

Title	Proposed Ordinance Amendment 2024-04, Marihuana Regulations
SUBMITTING DEPARTMENT	City Attorney
PRESENTER	Niccolas Grochowski
MEETING DATE	April 8, 2024
SECOND READING REQUIRED	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

EXECUTIVE SUMMARY *(include history of previous Commission action/discussion, background, scope of work, etc.):*

Second reading. Proposed amendment to the Royal Oak Code of Ordinances that would amend Section 435-4D(7), of Article I, Recreational Marihuana Establishments, of Chapter 435, Marihuana, of the Code of Ordinances, City of Royal Oak, Michigan, to add provisions for obtaining additional extensions of a municipal license for marihuana establishments in the City. No revisions to the proposed ordinance have been made between the first and second reading.

Fiscal Impact

BUDGET SUMMARY	
EXPENDITURE REQUIRED	0
AMOUNT CURRENTLY BUDGETED	
BUDGET AMENDMENT REQUIRED	\$0.00 (BA between dept; net -0- effect on FB)
FUNDING SOURCE/ GL NUMBER	
WAS THIS A BUDGETED EXPENSE?	<input type="checkbox"/> Yes <input type="checkbox"/> No

OTHER FISCAL IMPACTS: (Select all that apply.)

- ☐ No fiscal impact
☐ Workload impact (details below)

☒ Revenue impact (details below)
☐ Operations Impact (details below)

REVENUE IMPACT: *Provide a description of how this item will impact revenue. (Is this item expected to create additional/new revenue? Will this item have a negative impact on revenue? Which funds would be impacted? Provide additional details, as necessary.)*

Licensees would also be required to pay an application fee for each license, for each requested extension, which equates to paying the license fee every six (6) months for an extension, as opposed to annually for a renewal of an issued license.

WORKLOAD IMPACT: *If this item will require staff time to implement, operate or maintain, provide a description of the workload impact. (Will more staff be needed? Is this workload able*

to be absorbed by existing staff? If new FTE(s) are needed, provide details of position classification and duties. Provide additional details, as necessary.)

None

OPERATIONS IMPACT: *If the item requires a budget adjustment, please identify source of additional funds and any proposed cuts to other operations, programs and services.*

None

ALIGNMENT WITH COMMISSION APPROVED PLANS, POLICIES, AND PROGRAMS

Provide a description of how this item aligns with the strategic plan, aging in place plan, and sustainability and climate action plans. Include any specific goals or action steps it supports.

COMMUNITY ENGAGEMENT

Provide a description of any community engagement efforts made for this item. Include information on tools used, participation information, and general sentiments.

BOARD AND COMMISSION FEEDBACK

Was an advisory board or commission engaged in discussion on this item? If yes, please provide a summary of feedback received:

LEGAL COMMENTS

See attached memo.

PROPOSED COMMISSION RESOLUTION:

BE IT RESOLVED, the city commission approves and adopts on second reading, Ordinance 2024-04 entitled an Ordinance to amend the 2008 Ordinance Adopting the Royal Oak Code of Ordinances, codifying and adopting a new Code of the City of Royal Oak by amending Section 435-4D(7), of Article I, Recreational Marihuana Establishments of Chapter 435, Marihuana, of the Code of Ordinances, City of Royal Oak, Michigan, to add provisions for obtaining additional extensions of a municipal license for marihuana establishments in the City.

ATTACHMENTS:

City Attorney Communication
Redline Copy of Proposed Ordinance 2024-04
Clean Copy of Proposed Ordinance 2024-04

**Proposed Amendment to the Royal Oak Code of Ordinances
to Amend Marihuana Regulations - Second Reading**

March 20, 2024

The Honorable Mayor Fournier and
Members of the City Commission

On the agenda for your consideration, for *second* reading, is a proposed amendment to the Royal Oak Code of Ordinances that would amend Section 435-4D(7), of Article I, Recreational Marihuana Establishments, of Chapter 435, Marihuana, of the Code of Ordinances, City of Royal Oak, Michigan, to add provisions for obtaining additional extensions of a municipal license for marihuana establishments in the City. There have been no changes to the ordinance between first and second reading.

Presently, the City Code provides for up to two (2) six (6) month extensions to obtain a municipal license for a marihuana establishment, provided that the awarded license holder is either actively engaged in a construction of the establishment with an unexpired building permit or all building improvements are completed, and the license holder is awaiting final approval of state licensure. Due to the uncertain nature of many facets of the industry, the initial time periods under the original ordinance to extend the licenses was an unknown factor to the City when it drafted those specific ordinance provisions.

Unfortunately, due to circumstances beyond the control of one or more license holders in the City, they have experienced unforeseen delays in certain aspects of their attempt to build certain portions of their establishments. As such, they have requested a mechanism to extend the period in which to obtain a license as long as they have an active building permit and are progressing with the construction of their establishment.

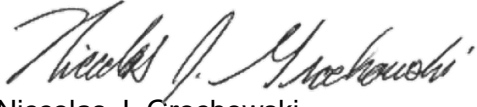
Both a redline and a clean version of the proposed amendment are attached for your review and consideration. As you can see from the redline version, the proposed revision is a minor modification to the same section for extensions that the City Commission approved a little less than one (1) year ago. The modification would add an additional two (2) extensions on top of the first and second two (2) extensions that presently are provided for in the ordinance. As mentioned above, the licensee would be required to maintain all relevant building permits and be engaged in active construction activities for the extensions to be granted. Moreover, the licensee would also be required to pay the application fee for each license, for each requested extension, which equates to paying the license fee every six (6) months for an extension, as opposed to annually for a renewal of an issued license.

If the City Commission agrees with the proposed Amendment, the following resolution is offered for adoption:

Be it resolved, the city commission approves and adopts on Second reading, Ordinance 2024-04 entitled an Ordinance to amend the 2008 Ordinance Adopting the Royal Oak Code of Ordinances, codifying and adopting a new Code of the City of Royal Oak by amending Section 435-4D(7), of Article I, Recreational Marihuana Establishments of Chapter 435, Marihuana, of the Code of Ordinances, City of Royal

Oak, Michigan, to add provisions for obtaining additional extensions of a municipal license for marihuana establishments in the City.

Respectfully submitted,



Nicolas J. Grochowski
City Attorney

2 Attachments

ORDINANCE NO. 2024-04

**CITY OF ROYAL OAK,
OAKLAND COUNTY, MICHIGAN**

AMENDMENT TO THE CODE OF ORDINANCES

An Ordinance to amend the 2008 Ordinance Adopting the Royal Oak Code of Ordinances, codifying and adopting a new Code of the City of Royal Oak by amending Section 435-4D(7), of Article I, Recreational Marihuana Establishments of Chapter 435, Marihuana, of the Code of Ordinances, City of Royal Oak, Michigan, to add provisions for obtaining additional extensions of a municipal license for marihuana establishments in the City.

THE CITY OF ROYAL OAK ORDAINS:

SECTION 1. Amendment.

That Section 435-4D(7), of Article I, Recreational Marihuana Establishments of Chapter 435, Marihuana, of the Code of Ordinances, City of Royal Oak, Michigan, is hereby amended, to read as follows:

Sec. 435-4D(7).

(7) If all conditions of this article have been met, the City Clerk shall issue the municipal license to the applicant.

(a) All municipal licenses issued have the following stipulations:

[1] Issuance of license qualification by the State of Michigan for the municipal license holder under state law and the City of Royal Oak receiving a copy of that license qualification prior to occupancy.

[2] Issuance of final certificate of occupancy for the municipally licensed premises by the Community Development Department. All construction must be in accordance with applicable zoning ordinances, building codes, and any other applicable state or local laws, rules, or regulations.

[3] For processors and Class A, B, and C growers and microbusinesses proposing to connect to or to contribute to the POTW, a wastewater discharge permit.

[4] Issuance of final approval by the State of Michigan and the City of Royal Oak receiving a copy of the final approval prior to the business opening.

(b) A municipal license holder has one year from the date of issuance to meet all stipulations of the municipal license. If all stipulations are not met in this time frame, the municipal license is revoked and considered denied. A municipal license holder may request one extension not to exceed six months from the license's original expiration date, which may be granted by the City Clerk.

(c) If a municipal license holder obtains a first extension but has not met all stipulations of the municipal license at the end of the extended period, it may request ~~a second~~ up to four

additional subsequent extensions not to exceed six months from the end of ~~each~~the first extended period, upon payment of the non-refundable application fee for municipal license renewal. The City Clerk may grant an ~~second~~ extension only upon receipt of written evidence supplied by the municipal license holder that either of the following conditions exists:

- [1] The license holder has a current, unexpired building permit and is actively engaged in construction of the approved improvements on the municipally licensed property. For purposes of this subparagraph, "actively engaged in construction" means that the license holder demonstrates that workers are on site performing construction and are being paid for their work, and that the license holder has complied with all conditions of the building permit, including but not limited to obtaining regular, required inspections.
- [2] All approved improvements on the municipally licensed property are complete, the license holder has applied to the Department for a state marihuana license, and the license holder has not received a response to its application from the Department. If the municipal license holder receives a state license from the Department, the renewal fee paid with the request for a second extension shall be valid for one year from the effective date of the state license.

If neither of the foregoing conditions exists, the municipal license is revoked and considered denied at the end of the first extension period.

SECTION 2. Repealer.

All ordinances, or parts of ordinances, in conflict with this ordinance are repealed only to the extent necessary to give this ordinance full force and effect.

SECTION 3. Severability.

Should any section, subdivision, clause, or phrase of this ordinance be declared by the courts to be invalid, the validity of the ordinance as a whole, or in part, shall not be affected other than the part invalidated.

SECTION 4. Savings.

All proceedings pending and all rights and liabilities existing, acquired or incurred at the time this ordinance takes effect, are saved and may be consummated according to the law in force when they were commenced.

SECTION 5. Effective Date.

This ordinance as ordered shall take effect ten (10) days after its adoption and upon publication.

SECTION 6. Inspection.

A copy of this ordinance may be inspected or purchased at the city clerk's office between the hours of 8:00 a.m. and 4:30 p.m. on regular business days and between the hours of 8:00 a.m. and 12:00 p.m. on Fridays.

Michael Fournier, Mayor

Melanie Halas, City Clerk

Date Adopted:
Date Published:
Effective Date:

ORDINANCE NO. 2024-04
CITY OF ROYAL OAK,
OAKLAND COUNTY, MICHIGAN

AMENDMENT TO THE CODE OF ORDINANCES

An Ordinance to amend the 2008 Ordinance Adopting the Royal Oak Code of Ordinances, codifying and adopting a new Code of the City of Royal Oak by amending Section 435-4D(7), of Article I, Recreational Marihuana Establishments of Chapter 435, Marihuana, of the Code of Ordinances, City of Royal Oak, Michigan, to add provisions for obtaining additional extensions of a municipal license for marihuana establishments in the City.

THE CITY OF ROYAL OAK ORDAINS:

SECTION 1. Amendment.

That Section 435-4D(7), of Article I, Recreational Marihuana Establishments of Chapter 435, Marihuana, of the Code of Ordinances, City of Royal Oak, Michigan, is hereby amended, to read as follows:

Sec. 435-4D(7).

- (7) If all conditions of this article have been met, the City Clerk shall issue the municipal license to the applicant.
- (a) All municipal licenses issued have the following stipulations:
- [1] Issuance of license qualification by the State of Michigan for the municipal license holder under state law and the City of Royal Oak receiving a copy of that license qualification prior to occupancy.
 - [2] Issuance of final certificate of occupancy for the municipally licensed premises by the Community Development Department. All construction must be in accordance with applicable zoning ordinances, building codes, and any other applicable state or local laws, rules, or regulations.
 - [3] For processors and Class A, B, and C growers and microbusinesses proposing to connect to or to contribute to the POTW, a wastewater discharge permit.
 - [4] Issuance of final approval by the State of Michigan and the City of Royal Oak receiving a copy of the final approval prior to the business opening.
- (b) A municipal license holder has one year from the date of issuance to meet all stipulations of the municipal license. If all stipulations are not met in this time frame, the municipal license is revoked and considered denied. A municipal license holder may request one extension not to exceed six months from the license's original expiration date, which may be granted by the City Clerk.
- (c) If a municipal license holder obtains a first extension but has not met all stipulations of the municipal license at the end of the extended period, it may request up to four additional

subsequent extensions not to exceed six months from the end of each extended period, upon payment of the non-refundable application fee for municipal license renewal. The City Clerk may grant an extension only upon receipt of written evidence supplied by the municipal license holder that either of the following conditions exists:

- [1] The license holder has a current, unexpired building permit and is actively engaged in construction of the approved improvements on the municipally licensed property. For purposes of this subparagraph, "actively engaged in construction" means that the license holder demonstrates that workers are on site performing construction and are being paid for their work, and that the license holder has complied with all conditions of the building permit, including but not limited to obtaining regular, required inspections.
- [2] All approved improvements on the municipally licensed property are complete, the license holder has applied to the Department for a state marihuana license, and the license holder has not received a response to its application from the Department. If the municipal license holder receives a state license from the Department, the renewal fee paid with the request for a second extension shall be valid for one year from the effective date of the state license.

If neither of the foregoing conditions exists, the municipal license is revoked and considered denied at the end of the first extension period.

SECTION 2. Repealer.

All ordinances, or parts of ordinances, in conflict with this ordinance are repealed only to the extent necessary to give this ordinance full force and effect.

SECTION 3. Severability.

Should any section, subdivision, clause, or phrase of this ordinance be declared by the courts to be invalid, the validity of the ordinance as a whole, or in part, shall not be affected other than the part invalidated.

SECTION 4. Savings.

All proceedings pending and all rights and liabilities existing, acquired or incurred at the time this ordinance takes effect, are saved and may be consummated according to the law in force when they were commenced.

SECTION 5. Effective Date.

This ordinance as ordered shall take effect ten (10) days after its adoption and upon publication.

SECTION 6. Inspection.

A copy of this ordinance may be inspected or purchased at the city clerk's office between the hours of 8:00 a.m. and 4:30 p.m. on regular business days and between the hours of 8:00 a.m. and 12:00 p.m. on Fridays.

Michael Fournier, Mayor

Melanie Halas, City Clerk

Date Adopted:
Date Published:
Effective Date:

CITY COMMISSION AGENDA ITEM

TITLE	Consideration of Ordinance to Conditionally Rezone 718 West 4th Street to Multiple-Family Residential – First Reading
SUBMITTING DEPARTMENT	Community Development - Planning
PRESENTER	Tim Thwing or Joseph Murphy
MEETING DATE	April 8, 2024
SECOND READING REQUIRED	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

EXECUTIVE SUMMARY *(include history of previous Commission action/discussion, background, scope of work, etc.):*

A recommendation from the Planning Commission to conditionally rezone 718 West 4th Street from “One-Family Residential Overlay District” to “Multiple-Family Residential” was reviewed by the City Commission at the regular meeting of April 10, 2023. The conditional rezoning and its associated site plan would convert the existing two-story building at the subject property into 25 multiple-family dwellings. The building was formerly used as an 89-bed convalescent center.

The staff report to the City Commission from the April 11, 2023 meeting can be found [at this link](#). At this meeting, the City Commission postponed action until the next regular meeting. The staff report to the City Commission from the April 24, 2023 meeting can be found [at this link](#). At that meeting, the City Commission postponed action on the application until a future meeting at the request of the petitioner.

Since the City Commission meetings last April, the petitioner voluntarily revised their plans to include rooftop solar panels. The proposed site plan is attached (attachment 1). Details for the solar panels can be found on sheet A.104 and with the attached specifications (attachment 2). The petitioner is also voluntarily offering to reserve five dwellings as affordable housing. A pledge from the petitioner to provide five affordable dwellings for a minimum of 20 years is also attached (attachment 3). Both conditions would need to be incorporated into the conditional zoning agreement required for second reading.

The petitioner is requesting a conditional rezoning under [Section 405 of the Michigan Zoning Enabling Act \[Act 110 of 2006\]](#). Unlike a conventional rezoning, a specific use and site plan are approved as part of a conditional rezoning request, subject to a written agreement between the petitioner and the city.

Conditions voluntarily offered by the petitioner can be imposed on the site if a conditional rezoning is approved. However, these conditions must be offered voluntarily by the petitioner; the City may not require conditions as a prerequisite for rezoning property under Section 405.

The State Zoning Enabling Act does not require that the City Commission conduct another public hearing on a rezoning application although it may do so if desired. The City Charter provides that an amendment to the Zoning Map cannot be approved upon introduction but must receive a second reading.

The following options are available to the City Commission:

- Adopt the conditional rezoning request and associated site plan upon first reading with or without modification, and direct staff to prepare the application for final disposition;
- Adopt the conditional rezoning request and associated site plan upon first reading with or without modification, direct staff to prepare the application for final disposition, and schedule a public hearing;
- Refer the conditional rezoning request and associated site plan back to the Planning Commission for additional information or study identifying specific areas of concern; or
- Reject the conditional rezoning request and associated site plan (no further action would be required).

FISCAL IMPACT

BUDGET SUMMARY	
EXPENDITURE REQUIRED	\$0.00
AMOUNT CURRENTLY BUDGETED	\$0.00
BUDGET AMENDMENT REQUIRED	\$0.00
FUNDING SOURCE/ GL NUMBER	\$0.00
WAS THIS A BUDGETED EXPENSE?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

OTHER FISCAL IMPACTS: (Select all that apply.)

☒ No fiscal impact

☐ Revenue impact (details below)

☐ Workload impact (details below)

☐ Operations Impact (details below)

REVENUE IMPACT: *Provide a description of how this item will impact revenue. (Is this item expected to create additional/new revenue? Will this item have a negative impact on revenue? Which funds would be impacted? Provide additional details, as necessary.)*

N/A

WORKLOAD IMPACT: *If this item will require staff time to implement, operate or maintain, provide a description of the workload impact. (Will more staff be needed? Is this workload able to be absorbed by existing staff? If new FTE(s) are needed, provide details of position classification and duties. Provide additional details, as necessary.)*

N/A

OPERATIONS IMPACT: *If the item requires a budget adjustment, please identify source of additional funds and any proposed cuts to other operations, programs and services.*

N/A

ALIGNMENT WITH COMMISSION APPROVED PLANS, POLICIES, AND PROGRAMS

Provide a description of how this item aligns with the strategic plan, aging in place plan, and sustainability and climate action plans. Include any specific goals or action steps it supports.

The Planning Commission reviewed the item for consistency with the City's [Master Plan](#), including its goals and objectives as well as its [future land use map](#).

COMMUNITY ENGAGEMENT

Provide a description of any community engagement efforts made for this item. Include information on tools used, participation information, and general sentiments.

At their regular meeting of January 10, 2023, the Planning Commission conducted a public hearing on the conditional rezoning and associated site plan. Notice of the public hearing was published in The Daily Tribune in accordance with state law. Notices were also mailed to property owners and residents within 300 feet of the subject site, also as required by state law.

Written comments submitted for the Planning Commission's public hearing can be found in the attachments from the staff report to the City Commission for the [April 10, 2023](#), regular meeting. Comments from members of the public at the public hearing can be seen in the video of the January 10, 2023, Planning Commission meeting available on the [WROK YouTube channel](#).

At the City Commission meeting of April 10, 2023, surrounding property owners submitted a petition protesting the conditional rezoning of the property and its associated site plan (attachment 4). Under [§ 770-132](#) of the Zoning Ordinance, if a protest petition is submitted from 20% of the property owners within 100 feet of the subject site, any amendment to the Zoning Map must be approved by the City Commission with a two-thirds majority vote or five affirmative votes.

Staff reviewed the petition and determined that 13 out of 17 or 76% of the property owners within 100 feet of the subject property signed it. Therefore, five affirmative votes from the City Commission are required to conditionally rezone the property and approve the associated site plan as requested by the petitioner.

A second protest petitioner was submitted by surrounding property owners at the City Commission meeting of [April 24, 2023](#) (attachment 5).

BOARD AND COMMISSION FEEDBACK

Was an advisory board or commission engaged in discussion on this item? If yes, please provide a summary of feedback received:

At their regular meeting of January 10, 2023, the Planning Commission recommended that the property be conditionally rezoned from "One-Family Residential Overlay District" to "Multiple-Family Residential," and that the associated site plan be approved with contingencies. The Planning Commission's resolution can be found in the staff report to the City Commission from the [April 10, 2023](#), regular meeting. The staff report to the Planning Commission can also be found in the attachments from that meeting.

Zoning Ordinance standards may be waived or modified as part of a conditional rezoning. Conversely, compliance with some or all Zoning Ordinance standards may be required. The Planning Commission recommended various deviations to required Zoning Ordinance standards as part of the proposed site plan [subparagraphs (a)(1) through (9) of their resolution]. Those deviations are summarized in the following table:

Zoning Ordinance Section	Standard	Minimum Required / Maximum Permitted	Proposed
§ 770-21 C (5)	Maximum Projection of Porches and Steps into Required Setback	7 ft.	11 ft. (south)
			25 ft. (west)

Zoning Ordinance Section	Standard	Minimum Required / Maximum Permitted	Proposed
§ 770-30 B (4)	Maximum Façade Height-to-Width Ratio	1-to-3	1-to-7 (north & south)
§ 770-37 D (3)(a)	Minimum Lot Size	78,000 sq. ft.	25,090 sq. ft.
	Maximum Density	7 dwellings	25 dwellings
§ 770-37 D (3)(c)	Minimum West Side Yard Setback	25 ft.	15 ft. 7 in.
	Minimum North Rear Yard Setback		23 ft. 4 in.
§ 770-90 D	Screening Between Land Uses	6-ft. landscaped greenbelt or masonry wall along north rear lot line or north line of public alley	Shrubs with bollards, arborvitae, and masonry wall next to 324 S. Pleasant St. No screening next to 325 S. Maple Ave.
§ 770-105 C	Minimum Setbacks for Off-Street Parking	25 ft.	-
§ 770-107	Minimum Number of Off-Street Parking Spaces	50 spaces	25 spaces
§ 770-109 D	Minimum Maneuvering Aisle Width	20 ft.	-
§ 770-109 F	Minimum Off-Street Parking Space Depth	20ft.	18 ft. 6 in.
§ 607-8 E (2)(c)	Minimum Setback of Monument Signs for Multiple-Family Development	10 ft.	5 ft.

LEGAL COMMENTS

PROPOSED COMMISSION RESOLUTION:

Whereas the Royal Oak Planning Commission held a public hearing on January 10, 2023, and recommended approval of an amendment to the City of Royal Oak Zoning Map for the purpose of conditionally rezoning 718 West 4th Street (parcel no. 25-21-207-015) from “One-Family Residential Overlay District” to “Multiple-Family Residential;” and

Whereas the Royal Oak City Commission has determined that the Zoning Map amendment is consistent with the goals and objectives of the City of Royal Oak Master Plan and has received the record of public comments taken at the public hearing held at the Planning Commission meeting of January 10, 2023.

Therefore, be it resolved, that Ordinance 2024-##, entitled “An Ordinance to Amend the Zoning Map of the City of Royal Oak,” is hereby adopted on first reading.

The City of Royal Oak ordains:

Section 1 – Ordinance. Pursuant to the provisions of the Michigan Zoning Enabling Act, Public Act 110 of 2006, as amended, and pursuant to all applicable provisions of law, the City of Royal Oak Zoning Map is hereby amended to conditionally rezone 718 West 4th Street (parcel no. 25-21-207-015) from “One-Family Residential Overlay District” to “Multiple-Family Residential,” and

SP 23-01-02, a site plan to convert a two-story building formerly occupied by 89-bed convalescent center into 25 multiple-family dwellings at 718 West 4th Street (parcel no. 25-21-207-015), is hereby approved, subject to the associated “conditional zoning agreement.”

Section 2 – Severability. If any section, subsection, clause, phrase or portion of this ordinance is for any reason held invalid or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent portion of this ordinance, and such holding shall not affect the validity of the remaining portions of this ordinance.

Section 3 – Savings. As proceedings pending and all rights and liabilities existing, acquired or incurred at the time this ordinance takes effect are saved and may be consummated according to the law in force when they are commenced.

Section 4 – Repealer. All ordinance or parts of ordinances in conflict herewith are hereby repealed only to the extent necessary to give this ordinance full force and effect.

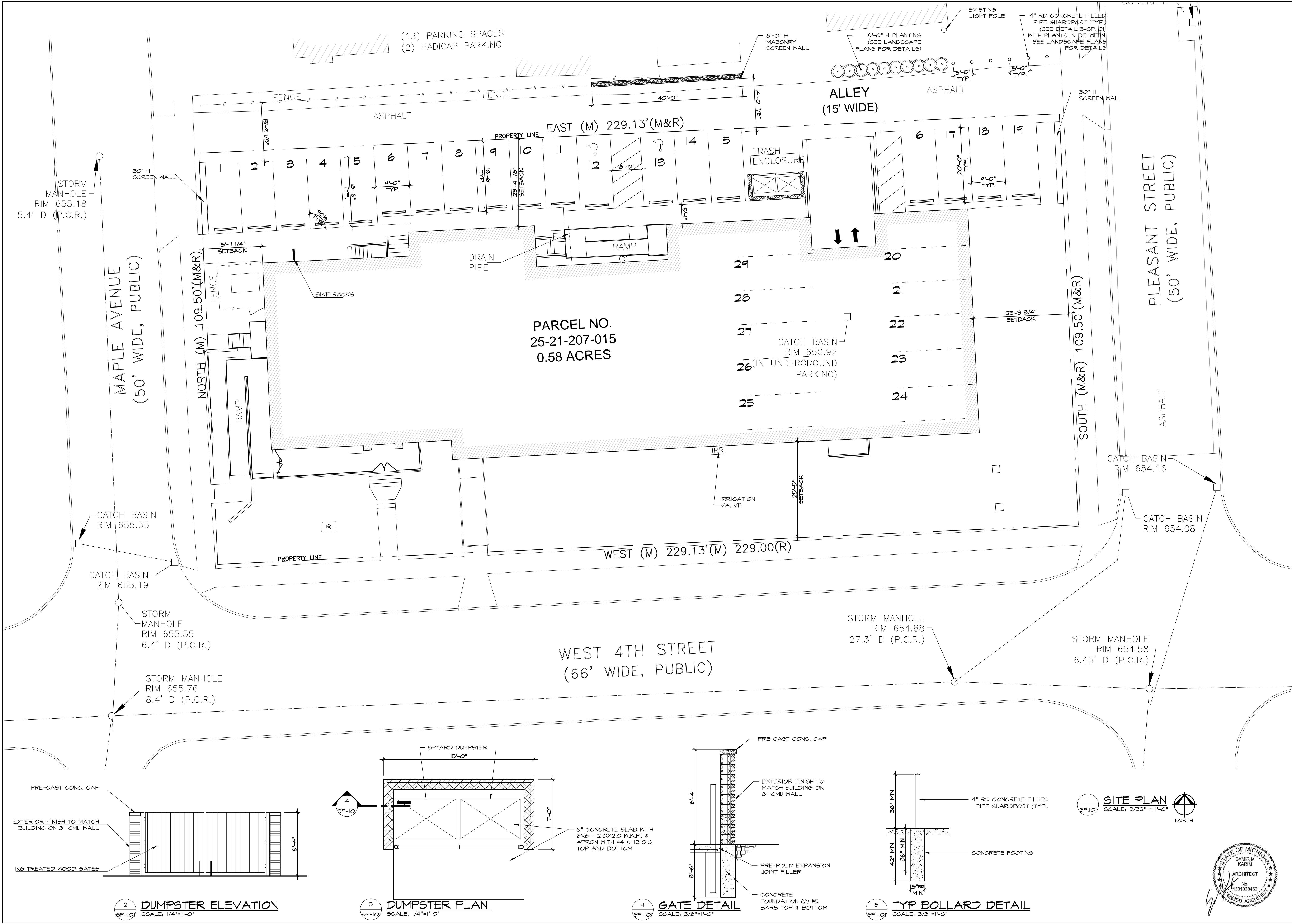
Section 5 – Effective Date. This ordinance shall be published in a newspaper of general circulation in the City of Royal Oak and shall become effective ten (10) days after publication, as provided by law.

Be it further resolved that the city commission directs staff to prepare a “conditional zoning agreement” for consideration by the city commission as part of the required second reading of ordinance 2024-##.

FUND IMPACTED:	
APPROPRIATIONS:	INCREASE (DECREASE)
N/A	\$0.00
TOTAL APPROPRIATIONS	\$0.00
NET INCREASE (DECREASE) TO FUND BALANCE	\$0.00

ATTACHMENTS:

- 1 – Proposed Site Plan SP 23-01-02.**
- 2 – Solar Panel Specifications.**
- 3 – Affordable Housing Pledge.**
- 4 – Protest Petition from April 10, 2023.**
- 5 – Protest Petition from April 24, 2023.**



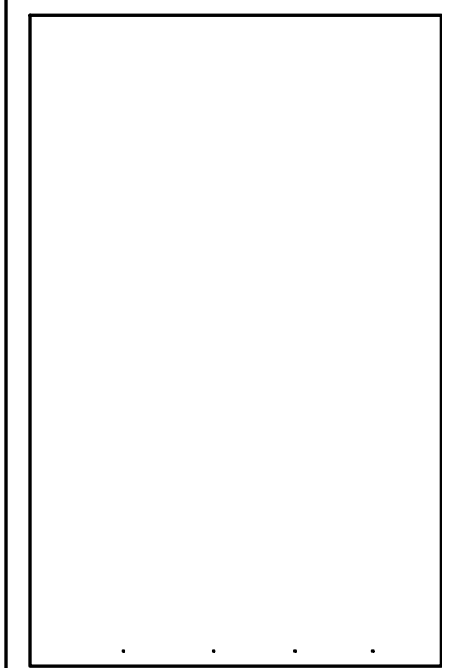
ISSUED FOR	DATE
DEMOLITION PERMIT	4/16/2022
SPA	11/10/2022
REVISION (1)	12/16/2022
REVISION (2)	3/10/2023
REVISION (3)	3/10/2024

ARCHITECTURAL DESIGN

RESIDENTIAL
COMMERCIAL
INDUSTRIAL

G.A.V. ASSOCIATES, INC.
24001 ORCHARD LAKE RD. STE. 100A
FARMINGTON, MICHIGAN 48336
PH: (248) 985-9101
WEB: WWW.GAVASSOCIATES.COM

GAV ASSOCIATES



PROPOSED NEW APARTMENTS:
718 W. 4TH ST.
ROYAL OAK, MI 48067

DRAWN:	DESIGNED:	CHECKED:
M.M.	GA	GA
SCALE: 3/32" = 1'-0"		
FILE NAME: 22058_A.101		
JOB #: 22058		
SHEET TITLE		
SITE PLAN		
SHEET #		
SP.101		

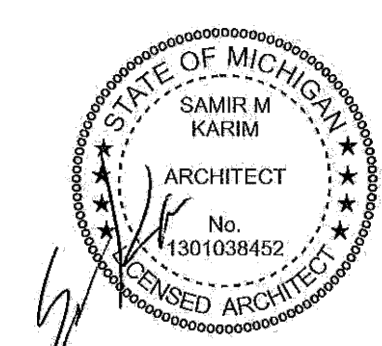
2 DUMPSTER ELEVATION
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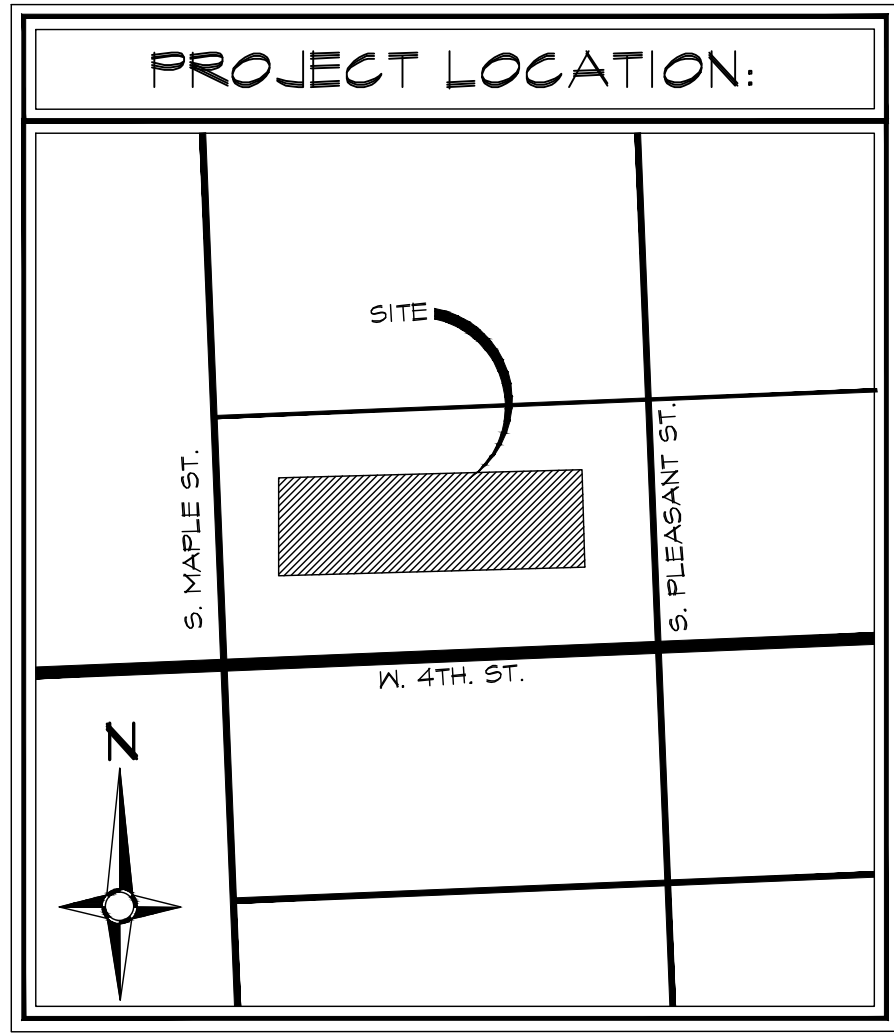
3 DUMPSTER PLAN
SCALE: 1/4"=1'-0"

4 GATE DETAIL
SCALE: 3/8"=1'-0"

5 TYP BOLLARD DETAIL
SCALE: 3/8"=1'-0"

1 SITE PLAN
SCALE: 3/32" = 1'-0"





UNIT COUNT, TYPES & AREAS:

	FIRST FLOOR:	SECOND FLOOR:
I-BEDROOM	8	7
STUDIO	5	5
TOTAL:	13	12
	25	

I-BEDROOM TYPE (A)	625 sq.ft.	x 1
I-BEDROOM TYPE (B)	515-600 sq.ft.	x 14
STUDIO TYPE (A)	416 sq.ft.	x 1
STUDIO TYPE (B)	331-336 sq.ft.	x 3
STUDIO TYPE (C)	386-439 sq.ft.	x 4
STUDIO TYPE (D)	356 sq.ft.	x 1
STUDIO TYPE (E)	390 sq.ft.	x 1

PROJECT DATA:

PROPOSED ZONING: MULTIPLE-FAMILY RESIDENTIAL

ACCORDING TO T10-27 D (3) ROYAL OAK ZONING CODE:

(a) LOT SIZE. MULTIPLE-FAMILY DWELLINGS SHALL PROVIDE 4,000 SQUARE FEET FOR THE FIRST TWO UNITS AND 3,000 SQUARE FEET FOR EACH ADDITIONAL UNIT.

(b) HEIGHT. NO PRINCIPAL BUILDING SHALL EXCEED A HEIGHT OF 36 FEET.
[AMENDED 12-6-2021 BY ORD. NO. 2021-11]

(c) SETBACKS. ALL BUILDING SHALL BE SETBACK FROM THE FRONT, SIDE AND REAR PROPERTY LINE NO LESS THAN 25 FEET OR A SETBACK AS MAY BE DETERMINED TO BE NECESSARY AND ADVISABLE BY THE PLAN COMMISSION DURING THE COURSE OF ITS SITE PLAN REVIEW PROCESS.

(d) DISTANCE BETWEEN BUILDINGS. NO PRINCIPAL BUILDINGS SHALL BE CLOSER THAN 20 FEET FROM ANOTHER PRINCIPAL BUILDING OR A DISTANCE AS MAY BE DETERMINED TO BE NECESSARY AND ADVISABLE BY THE PLAN COMMISSION DURING THE COURSE OF ITS SITE PLAN REVIEW PROCESS.

TOTAL SITE AREA: 25,090 SQ. FT. (0.58 ACRES)

GROSS BUILDING AREA: 10,364 SQ. FT. (0.24 ACRES)

ALLOWABLE: 30%

EXISTING SETBACKS:

FRONT: 25'-5"

REAR: 23'-4 1/8"

SIDE EAST: 25'-3 3/4"

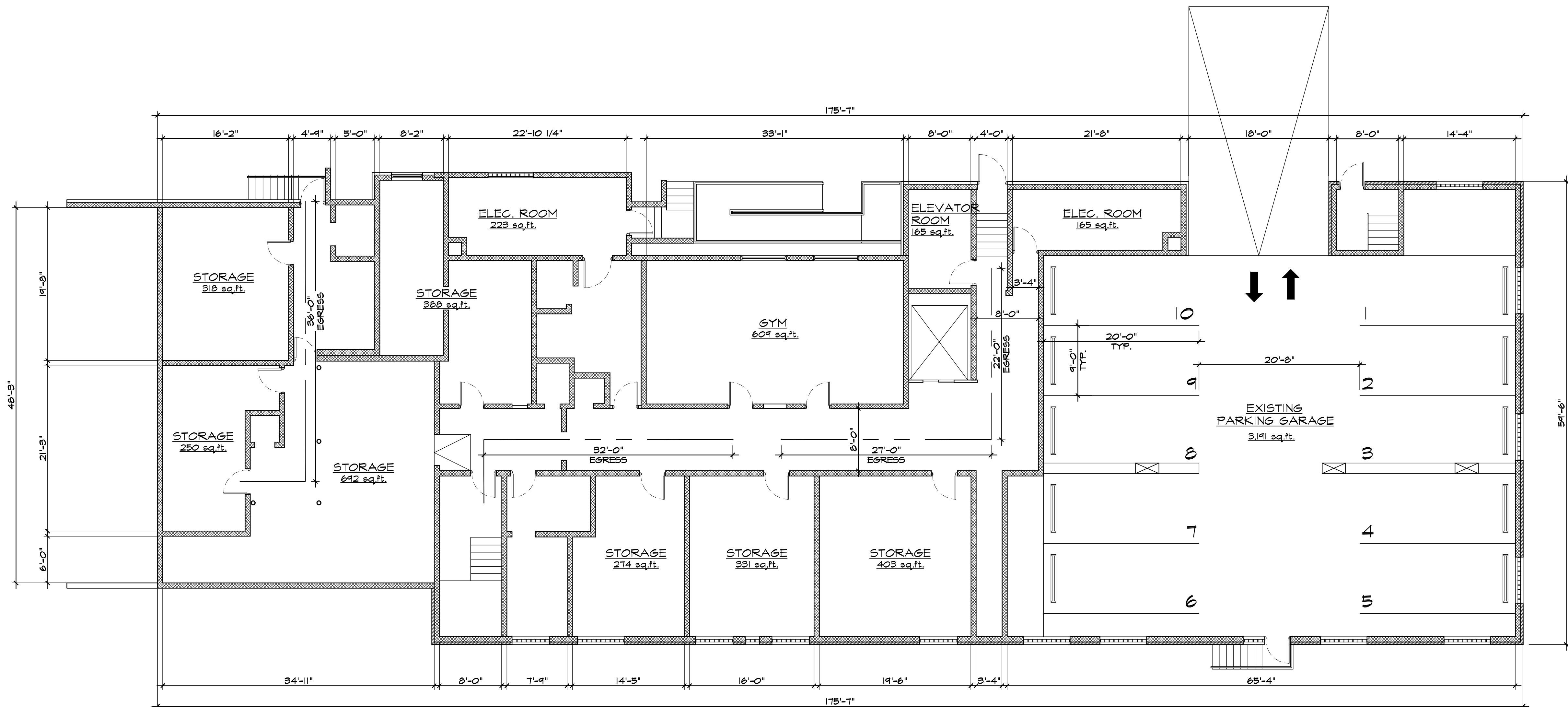
SIDE WEST: 15'-1 1/4"

BUILDING HEIGHT: 36'-0" MAX

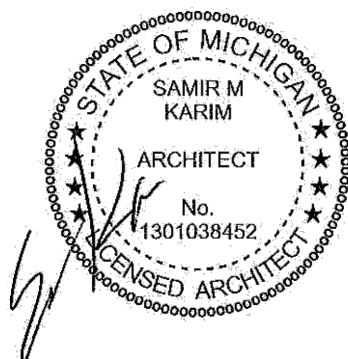
PARKING

REQUIRED: 2 PER EACH DWELLING UNIT
25 UNITS x 2 = 50 SPACES

PROVIDED: 24 SPACES



PROPOSED LOWER FLOOR PLAN
SCALE: 1/8" = 1'-0"



ISSUED FOR	DATE
DEMOLITION PERMIT	4/16/2022
SPA	11/10/2022
REVISION (1)	12/16/2022
REVISION (2)	3/01/2023
REVISION (3)	3/01/2024

ARCHITECTURAL
DESIGN

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718 W. 4TH ST.
ROYAL OAK, MI 48067

DRAWN:	DESIGNED:	CHECKED:
M.M.	SA	SA
SCALE : 1/8" = 1'-0"		
FILE NAME : 22058_A.101		
JOB # : 22058		
SHEET TITLE		
LOWER FLOOR PLAN SHEET #		
A.101		

**ARCHITECTURAL
DESIGN**

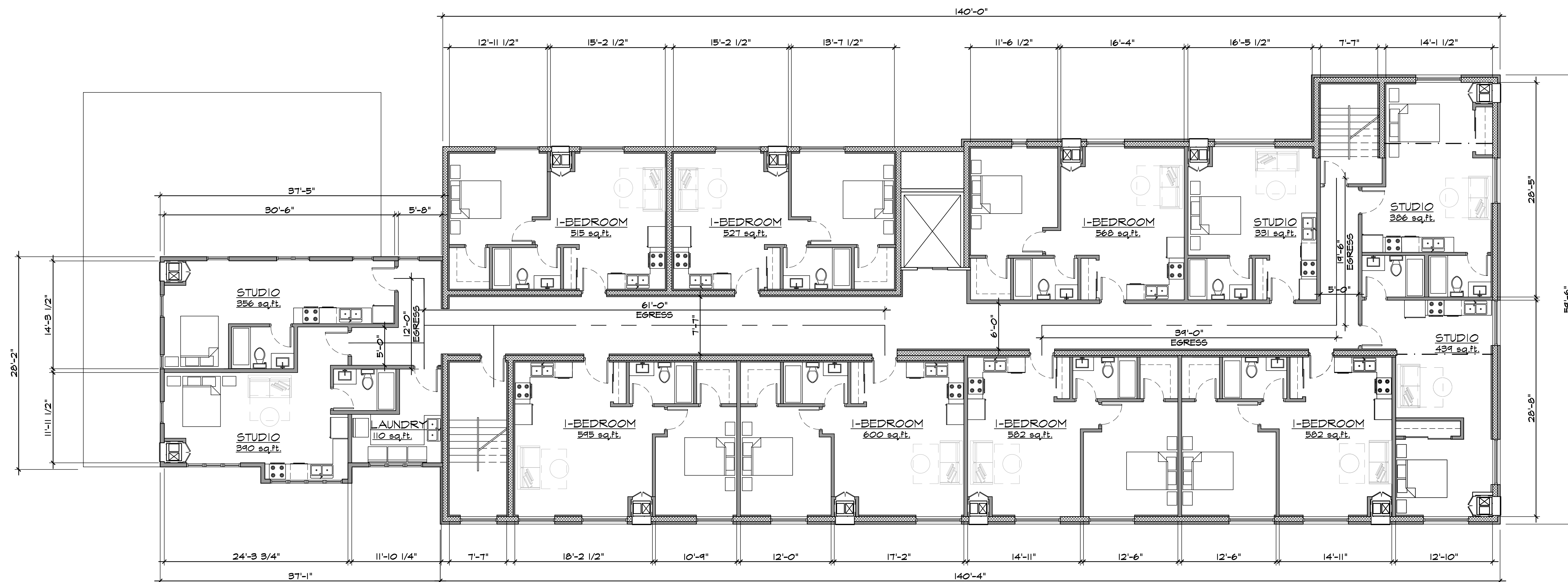
**RESIDENTIAL
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24091 ORCHARD LAKE RD., STE. 100A
FARMINGTON, MICHIGAN 48336
PH: (248) 985-0101
WEB: WWW.GAVASSOCIATES.COM



ASSOCIATES

DRAWN: M.M.	DESIGNED: SA	CHECKED: SA
SCALE : 1/8" = 1'-0"		
FILE NAME : 22058_A.102		
JOB # : 22058		
SHEET TITLE FIRST & SECOND FLOOR PLAN SHEET # A.102		



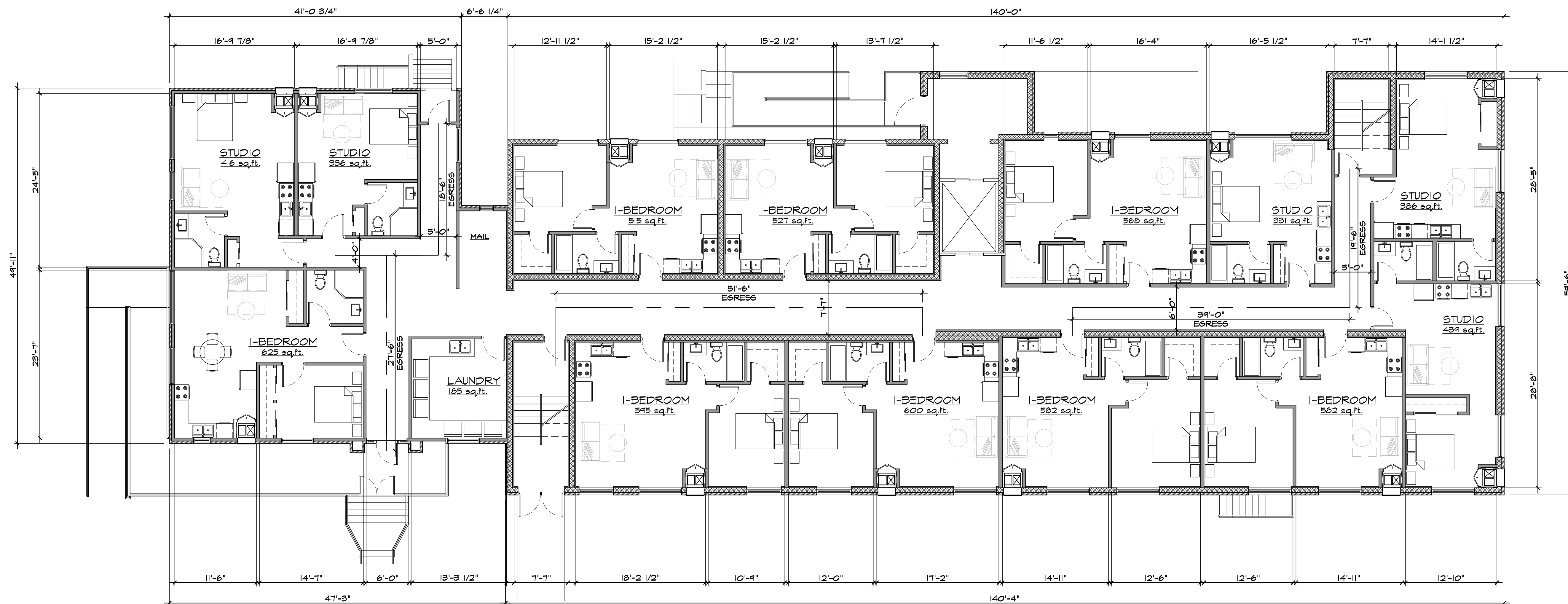
2
A.102

PROPOSED SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



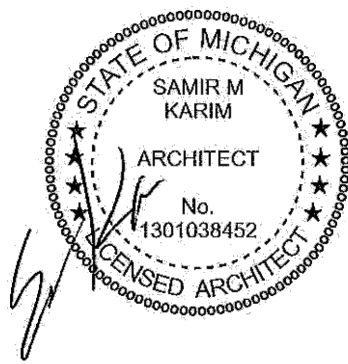
NORTH

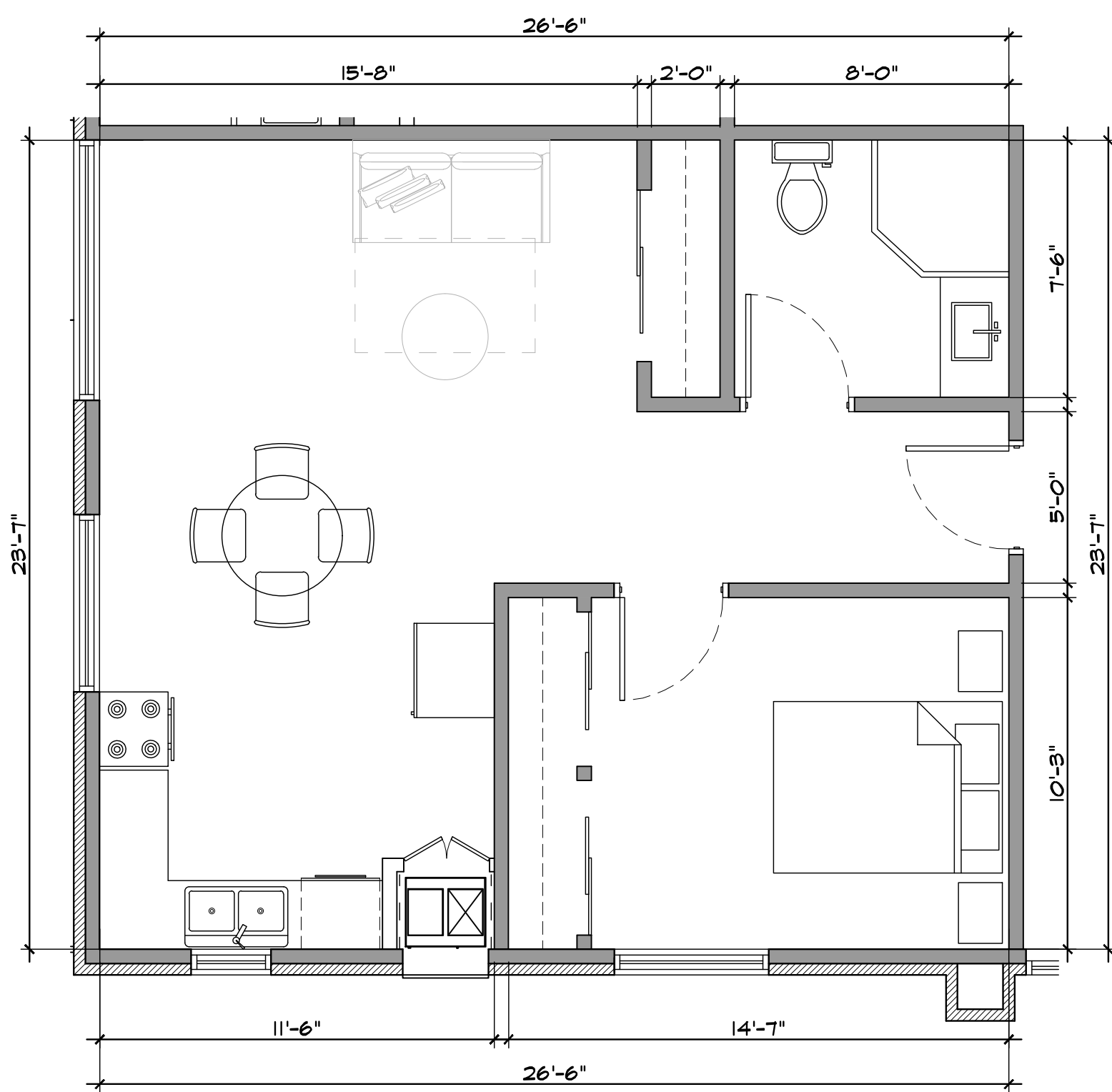


PROPOSED FIRST FLOOR PLAN

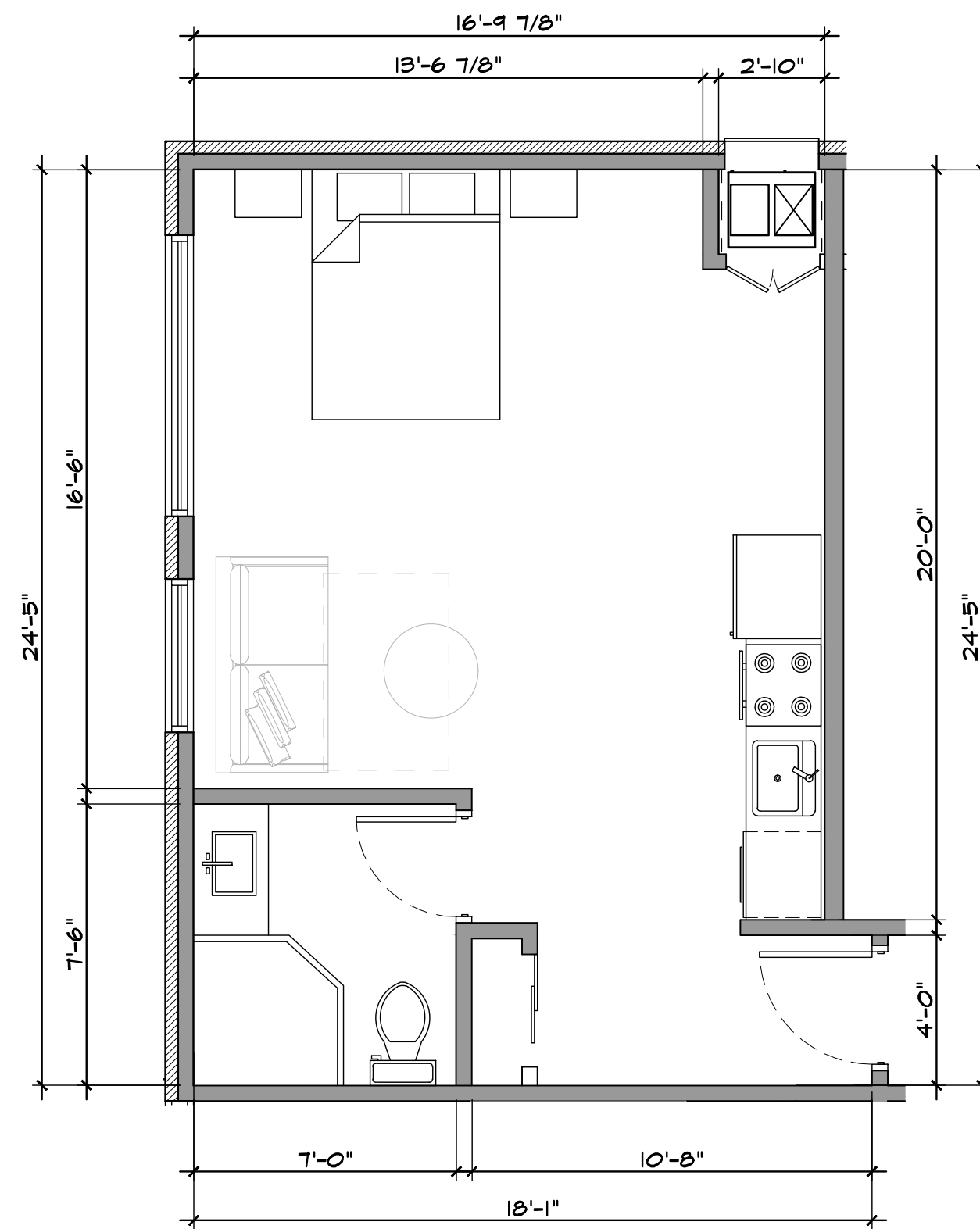
SCALE: 1/8" = 1'-0"

NORTH

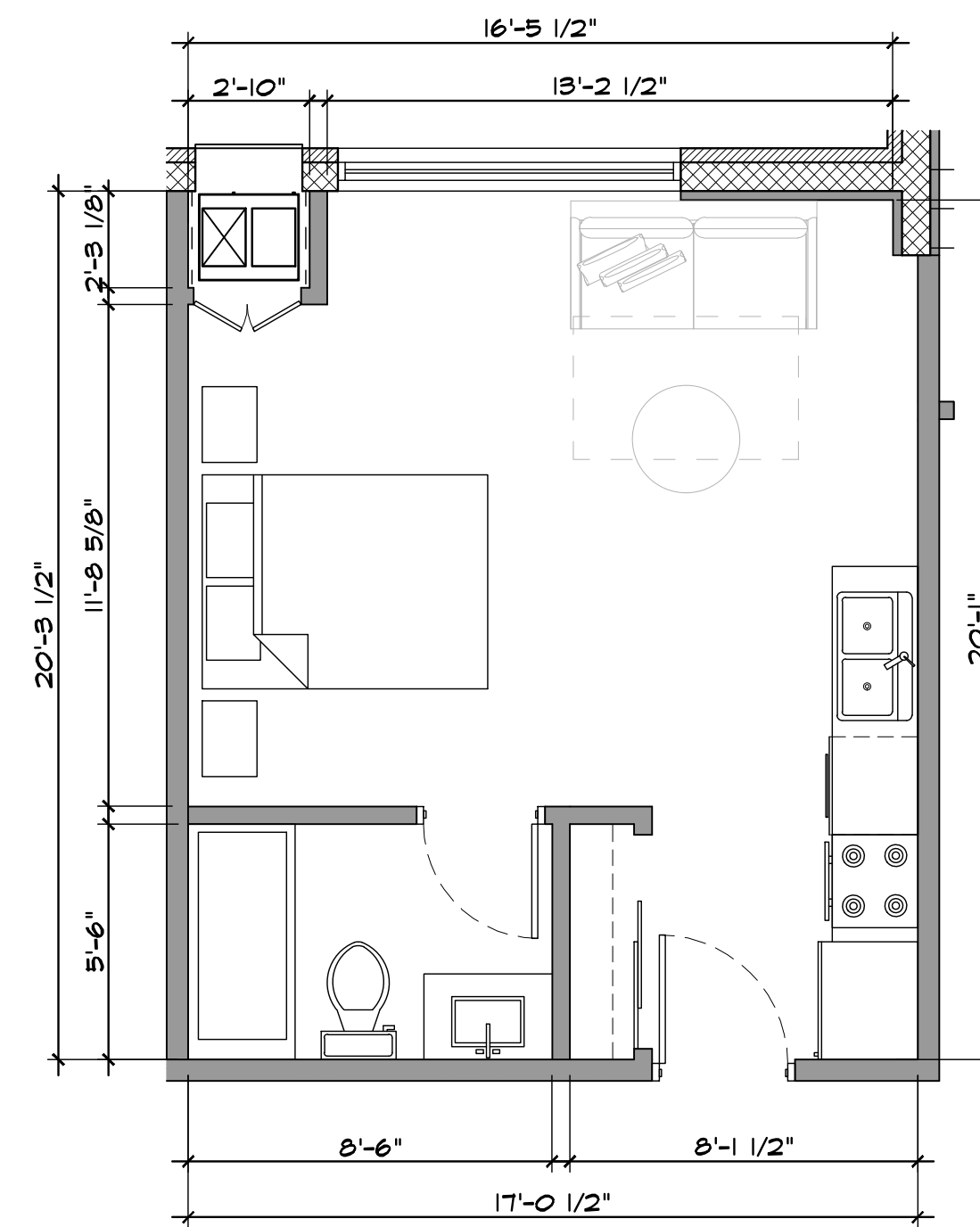




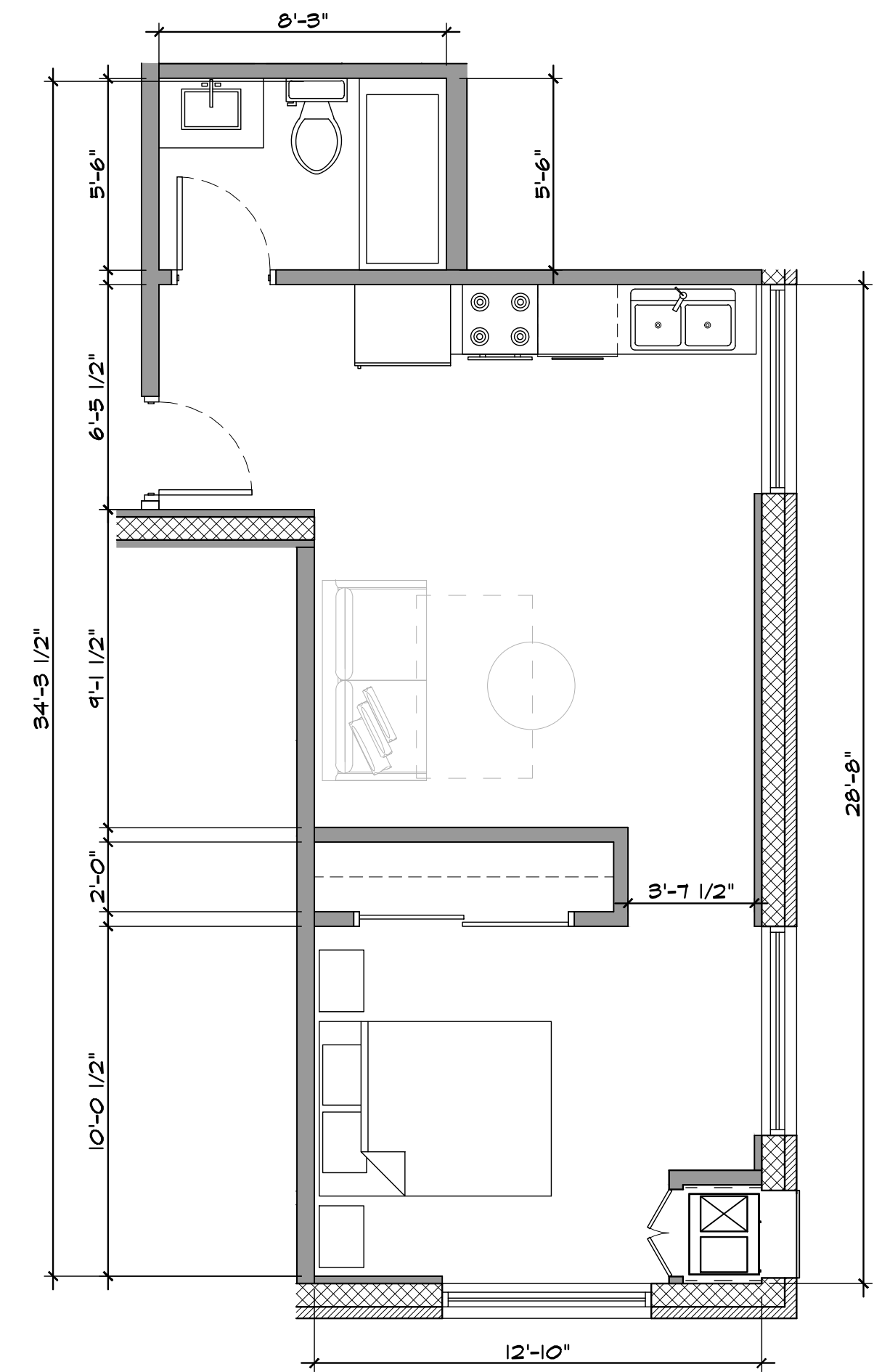
1 1-BEDROOM APARTMENT TYPE (A) ADA
SCALE: 1/4" = 1'-0" 625 sq.ft.



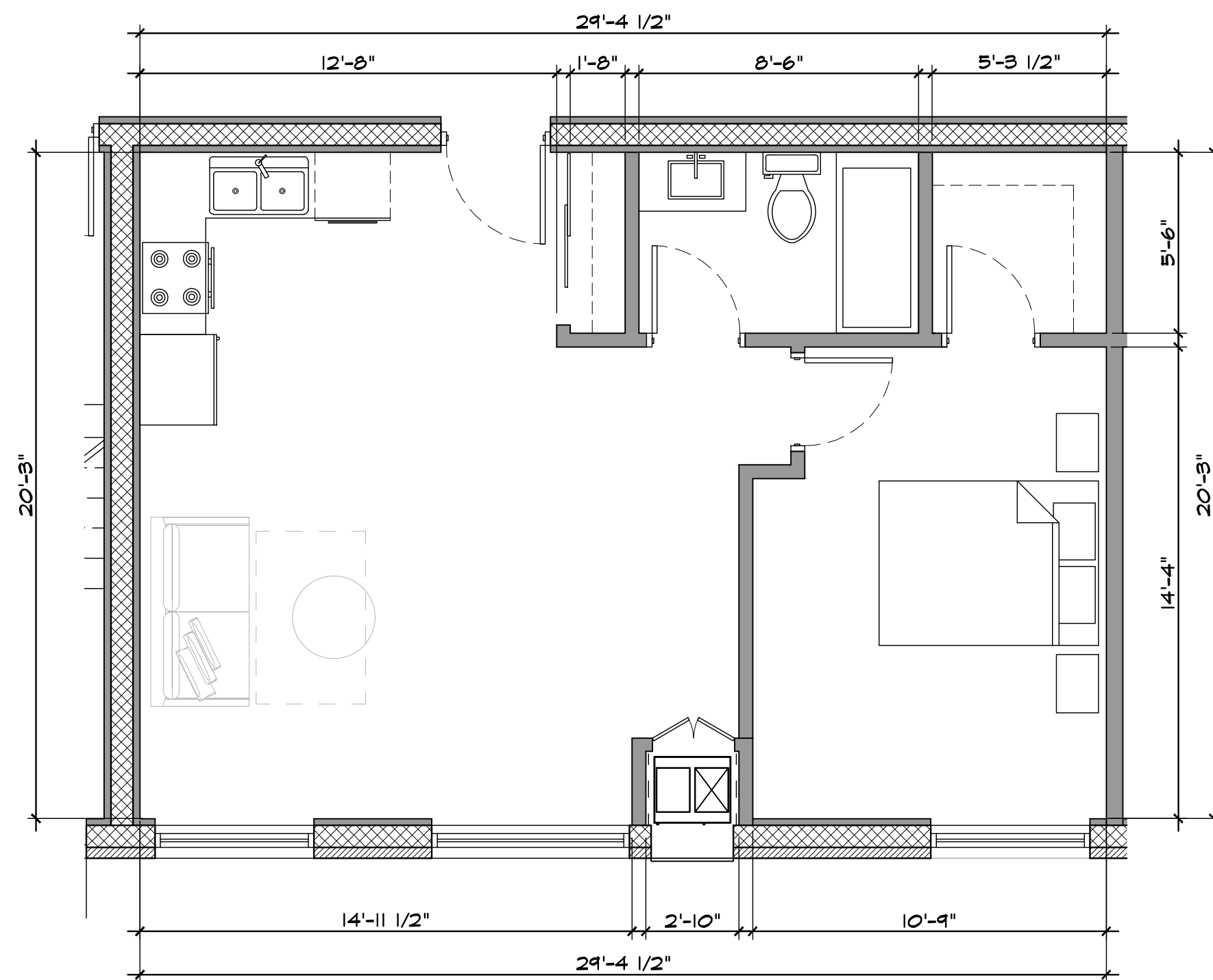
2 STUDIO APARTMENT TYPE (A)
SCALE: 1/4" = 1'-0" 416 sq.ft.



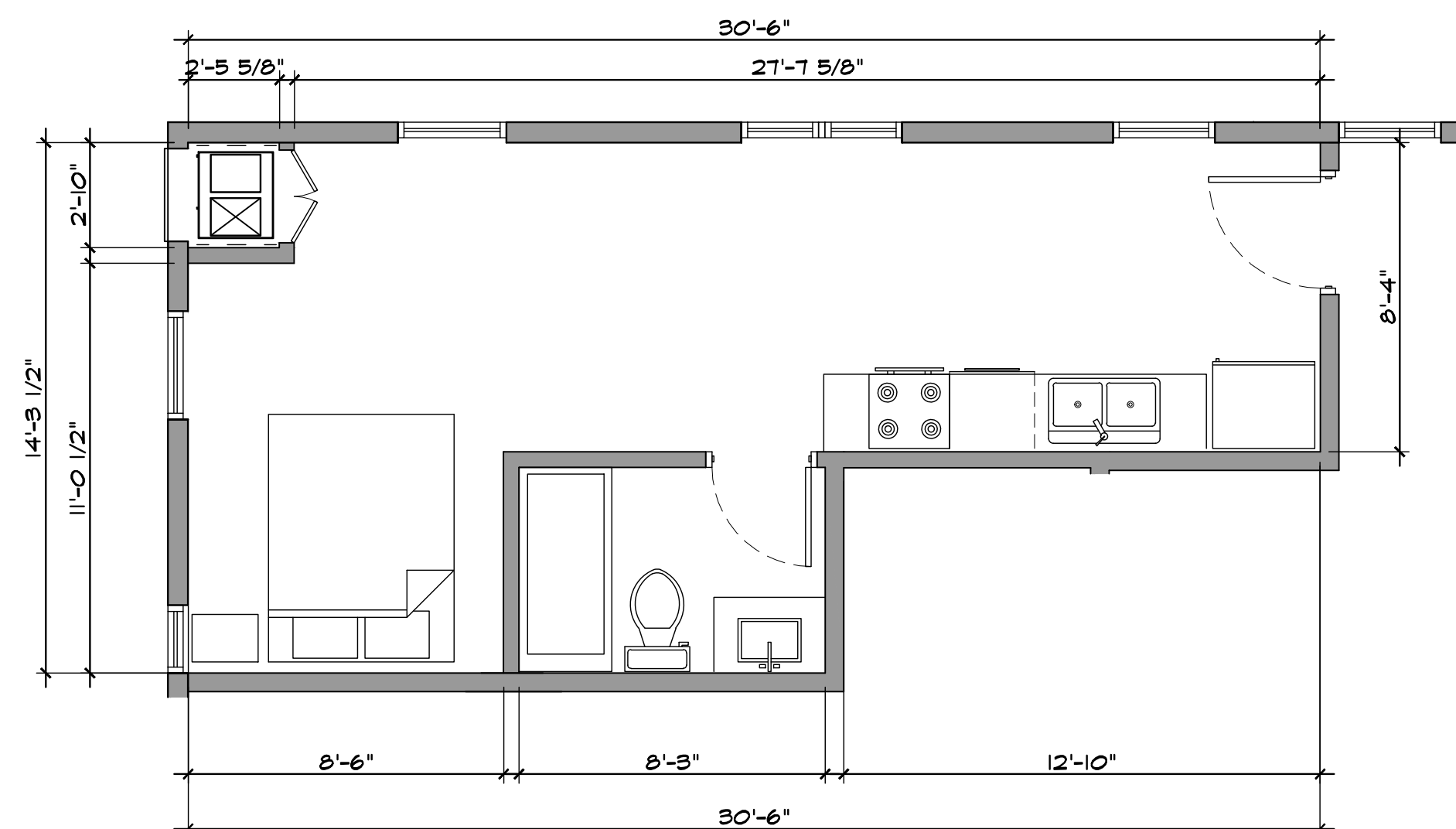
3 STUDIO APARTMENT TYPE (B)
SCALE: 1/4" = 1'-0" 331 sq.ft.



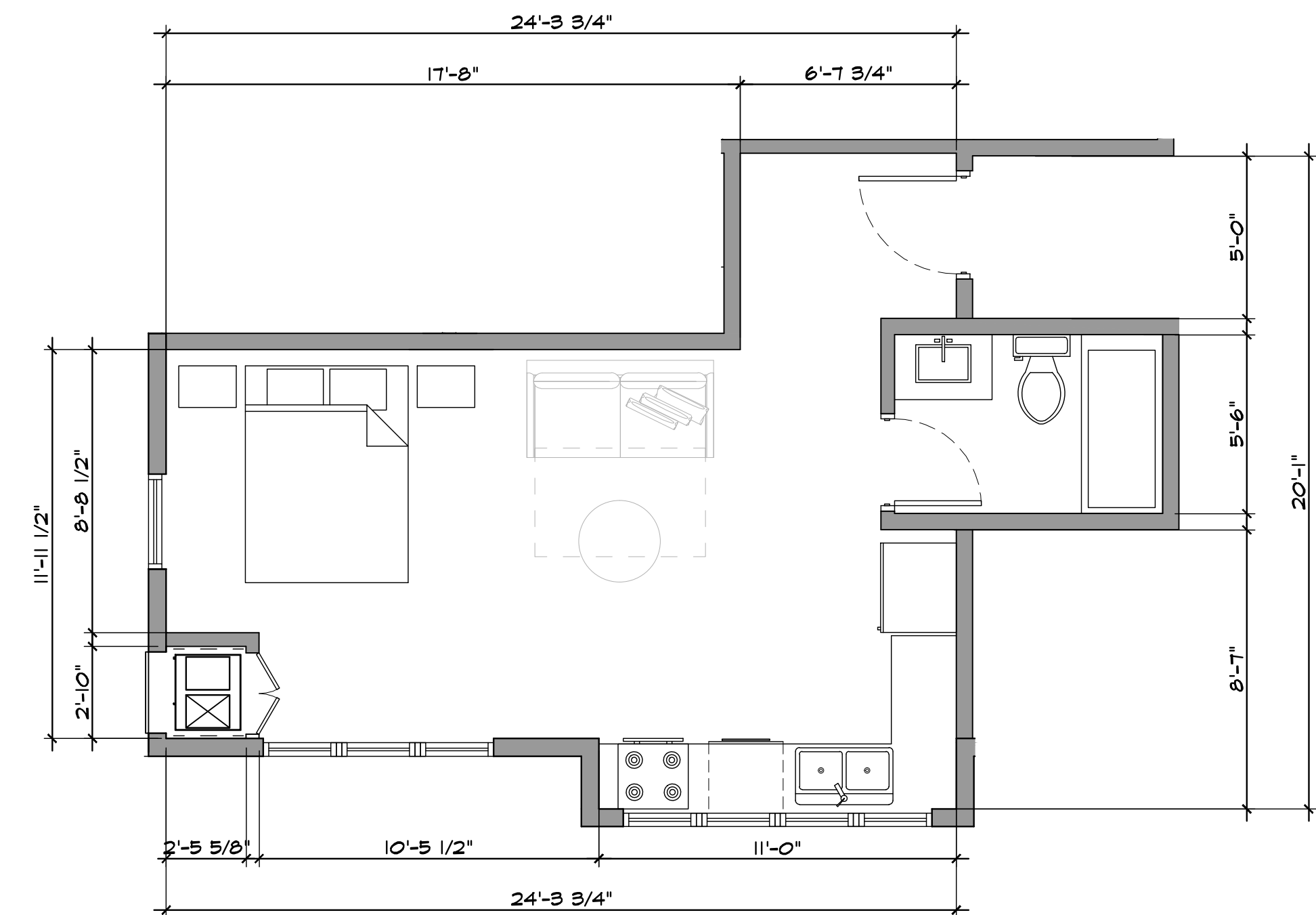
4 STUDIO APARTMENT TYPE (C)
SCALE: 1/4" = 1'-0" 439 sq.ft.



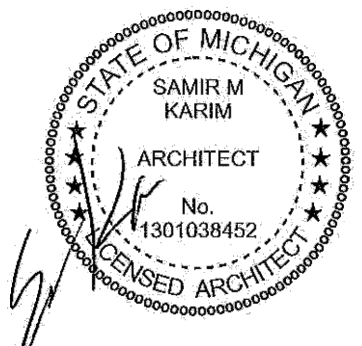
5 1-BEDROOM APARTMENT TYPE (B)
SCALE: 1/4" = 1'-0" 595 sq.ft.



6 STUDIO APARTMENT TYPE (D)
SCALE: 1/4" = 1'-0" 356 sq.ft.



7 STUDIO APARTMENT TYPE (E)
SCALE: 1/4" = 1'-0" 340 sq.ft.

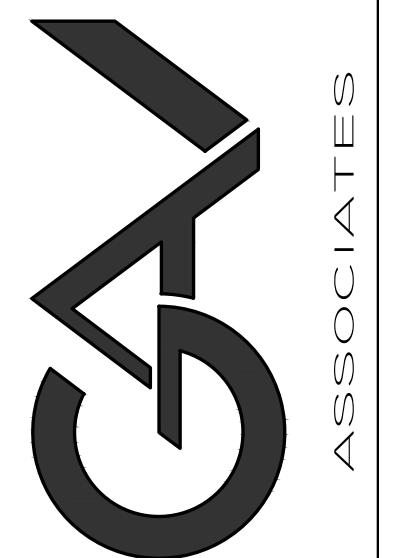


ISSUED FOR	DATE
DEMOLITION PERMIT	4/16/2022
SPA	11/10/2022
REVISION (1)	12/16/2022
REVISION (2)	3/01/2023
REVISION (3)	3/01/24

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718 W. 4TH ST.
ROYAL OAK, MI 48067

DRAWN:	DESIGNED:	CHECKED:
M.M.	GA	GA

SCALE: 1/8" = 1'-0"

FILE NAME: 22058_A.101

JOB #: 22058

SHEET TITLE
ENLARGED
UNITS FLOOR
PLAN
SHEET #

A.103



4444 2nd Ave
Detroit, MI 48201
Phone: 313-960-7900

Custom Solar Proposal for:

Ali Chami
718 W 4th St
Royal Oak, MI 48067

Proposal Design Highlights

System Size: 22.96 kW
Consumption Offset: 98%
Year One Estimated Production: 29,264 kWh

Lifetime Savings: \$103,944
Utility Bill Offset: 70%



Sales Representative:
Seger Weisberg
seger@strawberrysolar.com
248-535-3771

Proposal Created on
February 20th, 2024

This proposal is valid for 45 days



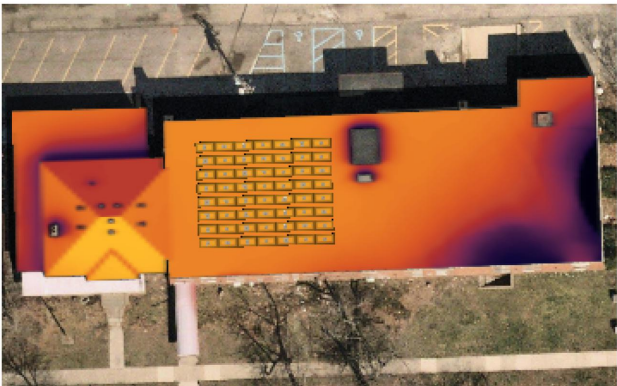
Performance Analysis

System Production

Total DC System Size: 22.96 kW DC
Estimated Production (Year 1): 29,264 kWh
Total AC System Output: 19.54 kW AC
Estimated Production (Lifetime): 689,334 kWh

Irradiance Map

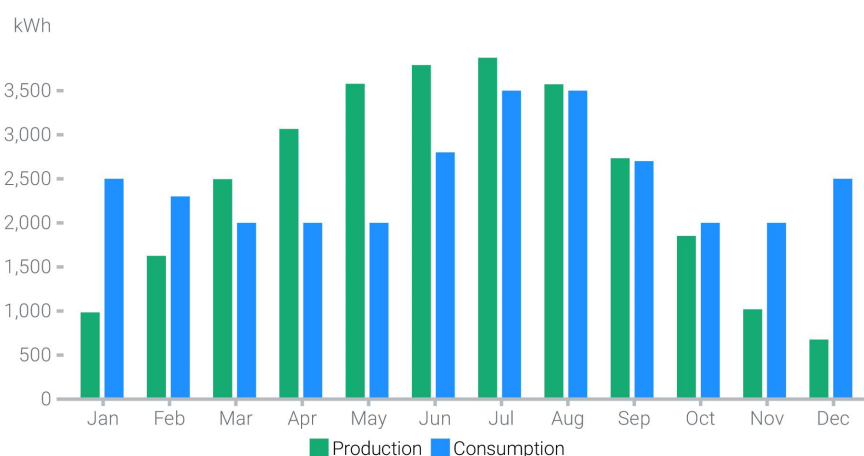
Shading analysis considering nearby structures and trees determines the irradiance of your array. Irradiance is the rate that solar energy contacts a surface.



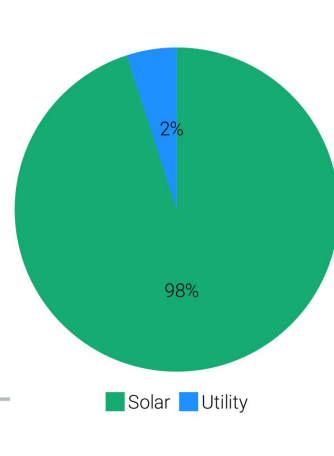
Environmental Impacts

- 1,150 Barrels of Oil Replaced
- 12,675 Trees Planted
- 4 Vehicles off the road

Month-by-Month Production/Consumption Chart



Energy Offset



(kWh)	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual
Utility Consumption Pre-Solar	2,500	2,300	2,000	2,000	2,000	2,800	3,500	3,500	2,700	2,000	2,000	2,500	29.8k
Utility Consumption Post-Solar	1,517	675	(496)	(1,065)	(1,578)	(990)	(373)	(73)	(33)	148	981	1,825	536
Solar Production	983	1,625	2,496	3,065	3,578	3,790	3,873	3,573	2,733	1,852	1,019	675	29.3k



System Summary

System Equipment

Type	Manufacturer	Model	Quantity
Module	Silfab Solar	SIL-410 HC+	56
Microinverter	Enphase Energy Inc.	IQ8A-72-2-US	56
Combiner Box	Enphase Energy Inc.	X-IQ-AM1-240-5	1

Equipment Details

Panels - Silfab Solar SIL-410 HC+

Warranty - Silfab solar panels are backed by a warranty that guarantees minimum power output of 82.6% after 30 years and covers materials and workmanship for 25 years extended from 12 years. *See spec sheet to confirm accurate image of panel

Features

- Size - 410 Watts
- Cell Count - 132 half-cell
- Efficiency - 20.7%
- Annual Degradation Rate - 0.483% (2.9% in first year)
- Dimensions - 75.3 x 40.8 x 1.37 inches

Racking - IronRidge Flush Mount Racking System

Every component in the IronRidge Flush Mount System has been tested to the limit and proven in extreme environments: rain, wind and snow.

Their rigorous approach has led to unique structural features, such as curved rails, universal fastening objects, innovative tile attachments and reinforced flashings. All products are fully-certified, code-compliant, listed to UL 2703 and backed by a 25-year warranty. *Note racking components come in black powder-coated finish



System Summary

Equipment Details

Microinverters - Enphase Energy Inc. IQ8A-72-2-US

The Enphase Microinverter offers efficient production as each unit will operate independently and include burst technology to lengthen the solar day. Commitments to quality in manufacturing and testing allow for a reliable and easy-to-install component, and with the conversion to AC electricity right at each panel means that a lower voltage is traveling through your home to reach your electrical panel.

Warranty - Enphase provides a 25-year warranty protecting from defects in workmanship and materials

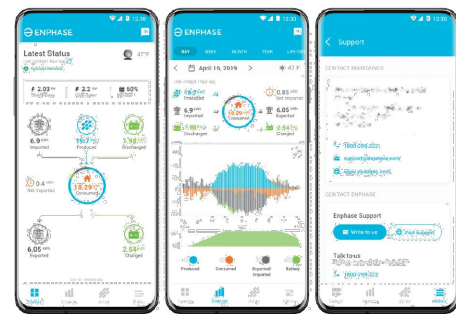
Combiner/Communication Hub - Enphase IQ Gateway/IQ Combiner

The Enphase IQ Gateway collects real-time data and delivers remote updates back out to each microinverter to keep your system in constant communication with their monitoring and software platform. Besides up-to-date monitoring capabilities, the Envoys can pinpoint performance issues with ease for quick and remote resolution.

Warranty - Enphase provides a 5-year warranty protecting from defects in workmanship and materials

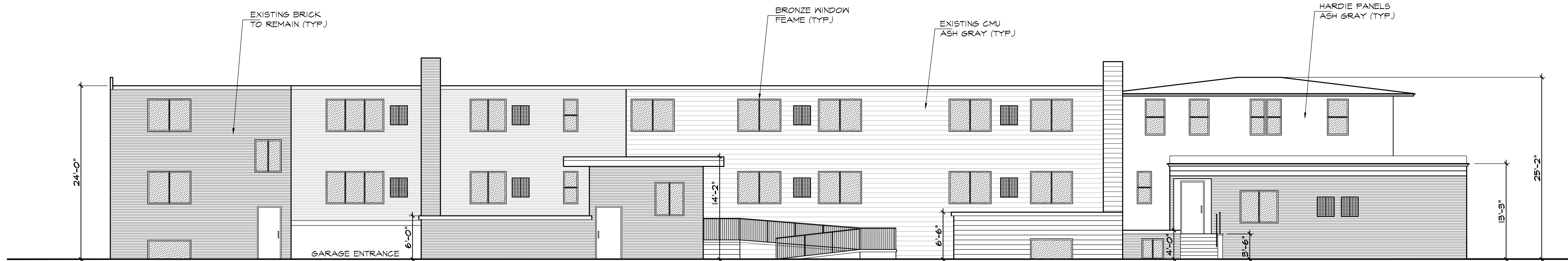
System Monitoring - Enphase App

With the Enphase App web application, system status is available at-a-glance and also provides features to view details of your systems overall health and performance and per-panel production. This monitoring platform provides production and your home consumption data all in one place.

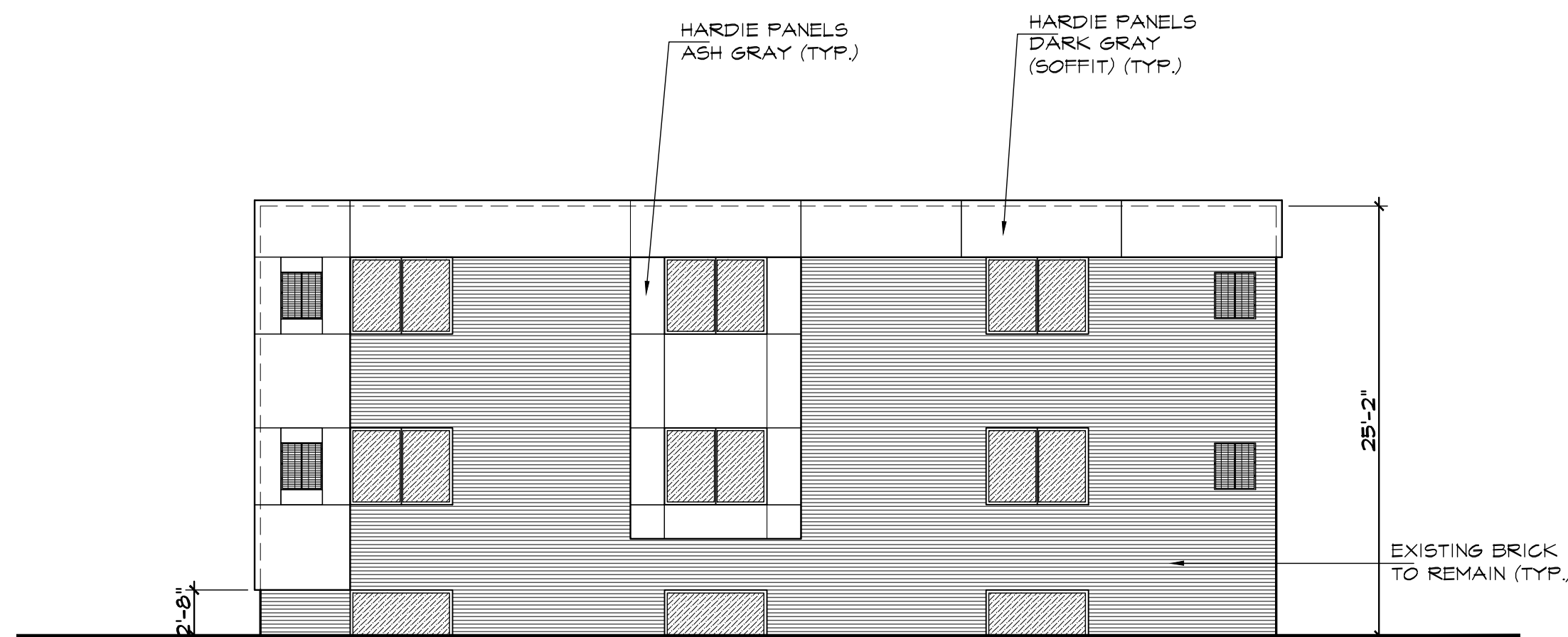


System Summary

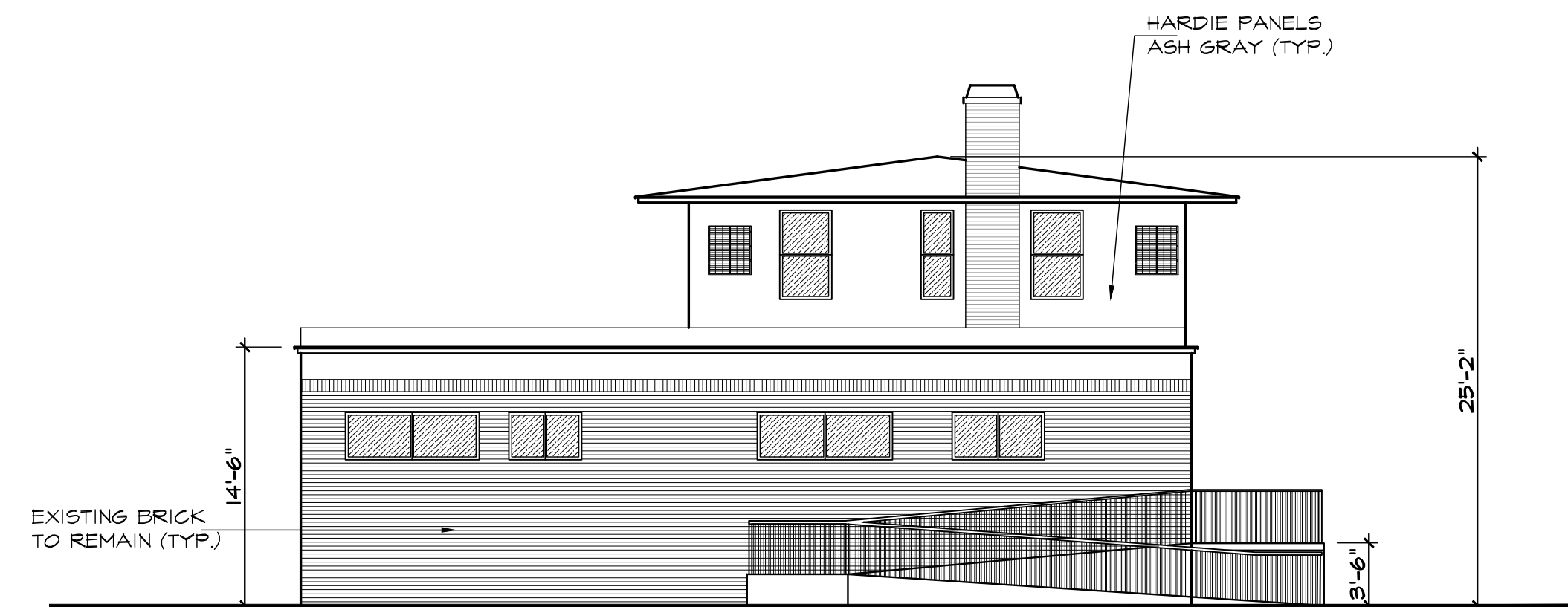
ELECTRICAL SPECIFICATIONS		410	
Test Conditions		STC	NOCT
Module Power (Pmax)	Wp	410	395
Maximum power voltage (Vmpmax)	V	36.99	36.24
Maximum power current (Impmax)	A	10.52	8.43
Open-circuit voltage (Voc)	V	46.00	42.70
Short-circuit current (Isc)	A	11.10	8.99
Module efficiency	%	20.7%	20.3%
Maximum system voltage (Voc)	V		1900
System loss (L70/L90)	A		2.0
Power Tolerance	Wp		0 to +10
Measurement conditions: STC 1000 W/m² AM 1.5 Temperature 25 °C NOCT 400 W/m² AM 1.5 Measurement uncertainty ± 0.5% See disclaimer collection reference modules from Strawberry Solar. Electrical characteristics may vary by 0.5% and power by 0 to +10%.			
MECHANICAL PROPERTIES / COMPONENTS		METRIC	IMPERIAL
Module weight		23.5kg ± 0.2kg	47.5lb ± 0.45lb
Dimensions (H x L x D)		1850 mm x 753 mm x 15 mm	73.1 x 44.8 in x 0.57 in
Maximum surface load (wind/snow)		5400 Pa (new load) / 5400 Pa (front load)	112.8 lb/ft² (new load) / 112.8 lb/ft² (front load)
Wind impact resistance		4.0 kN/m² at 40 km/h	3.1 in at 10.1 mph
Cells		132 half-cells, 66 mono PERC	132 half-cells, 66 mono PERC
Cable		3.2 mm high temperature, tempered, anti-static coating	0.125 in high temperature, tempered, anti-static coating
Cables and connectors (refer to installation manual)		1200 mm ± 5 mm, MC4 from Staubli	0.31 in ± 0.02 in (12.58 in), MC4 from Staubli
Backsheet		high durability, superior hydrolysis and UV resistance, multi-layer dielectric film, fluoropolymer-free PV backsheet	
Frame		Anodized Aluminum (Black)	
Pyrexia Glides		3.6 mm x 100.0 mm (1.41 in x 3.94 in) MC4 locking voltage, 30A max forward certified contact	
Junction Box		UL 5130 Certified, IEC 62108 Certified, IP68 rated	
TEMPERATURE RATINGS		WARRANTIES	
Temperature Coefficient P _{max}	-0.304 %/°C	Module product manufacturer warranty	35 years**
Temperature Coefficient Voc	-0.28 %/°C	Linear power performance guarantee	30 years**
Temperature Coefficient P _{max}	-0.30 %/°C		2.1 % and 1.0 %
NOCT (T _{cell})	45 °C		0.5 % and 0.2 %
Operating temperature	-40/+85 °C		± 0.2 % and 0.2 %
CERTIFICATIONS		SHIPPING SPECS	
UL 61215-1/2017 IEC 61215-1/2017 IEC 61215-2/2017 IEC 61215-3/2017 IEC 61215-4/2017 IEC 61215-5/2017 IEC 61215-6/2017 IEC 61215-7/2017 IEC 61215-8/2017 IEC 61215-9/2017 IEC 61215-10/2017 IEC 61215-11/2017 IEC 61215-12/2017 IEC 61215-13/2017 IEC 61215-14/2017 IEC 61215-15/2017 IEC 61215-16/2017 IEC 61215-17/2017 IEC 61215-18/2017 IEC 61215-19/2017 IEC 61215-20/2017 IEC 61215-21/2017 IEC 61215-22/2017 IEC 61215-23/2017 IEC 61215-24/2017 IEC 61215-25/2017 IEC 61215-26/2017 IEC 61215-27/2017 IEC 61215-28/2017 IEC 61215-29/2017 IEC 61215-30/2017 IEC 61215-31/2017 IEC 61215-32/2017 IEC 61215-33/2017 IEC 61215-34/2017 IEC 61215-35/2017 IEC 61215-36/2017 IEC 61215-37/2017 IEC 61215-38/2017 IEC 61215-39/2017 IEC 61215-40/2017 IEC 61215-41/2017 IEC 61215-42/2017 IEC 61215-43/2017 IEC 61215-44/2017 IEC 61215-45/2017 IEC 61215-46/2017 IEC 61215-47/2017 IEC 61215-48/2017 IEC 61215-49/2017 IEC 61215-50/2017 IEC 61215-51/2017 IEC 61215-52/2017 IEC 61215-53/2017 IEC 61215-54/2017 IEC 61215-55/2017 IEC 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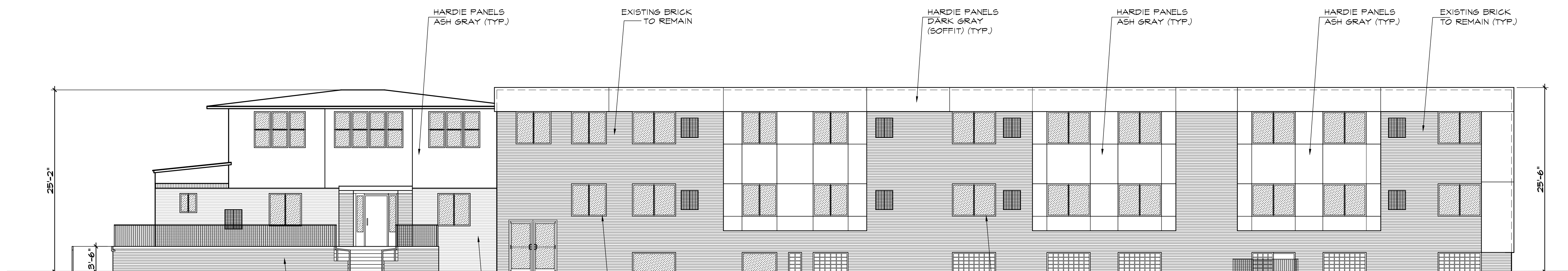
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SCALE: 1/8" = 1'-0"



2
A.20/ **PROPOSED WEST ELEVATION**
SCALE: 1/8" = 1'-0"



3
A.20/ **PROPOSED EAST ELEVATION**
SCALE: 1/8" = 1'-0"

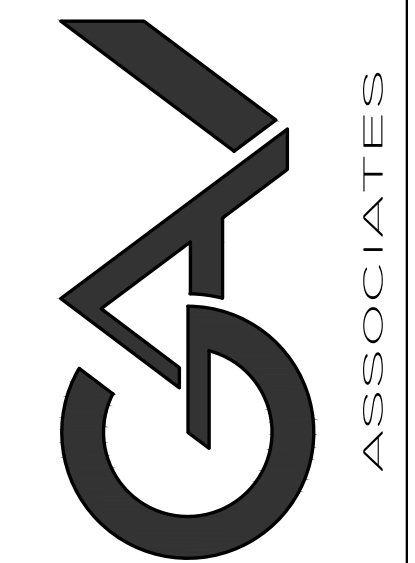


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A.20/ **PROPOSED SOUTH ELEVATION**
SCALE: 1/8" = 1'-0"

ISSUED FOR	DATE
DEMOLITION PERMIT	4/16/2022
SPA	11/10/2022
REVISION (1)	2/16/2022
REVISION (2)	3/10/2023

**ARCHITECTURAL
DESIGN**
RESIDENTIAL
COMMERCIAL
INDUSTRIAL

G.A.V. ASSOCIATES, INC.
24001 ORCHARD LAKE RD. STE. 180A
FARMINGTON, MICHIGAN 48336
PH: (248) 985-9191
WEB: WWW.GAVASSOCIATES.COM



PROPOSED NEW APARTMENTS:
718 W. 4TH ST.
ROYAL OAK, MI 48067

DRAWN:	DESIGNED:	CHECKED:
M.M.	GA	GA

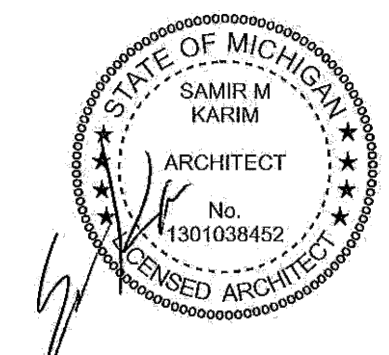
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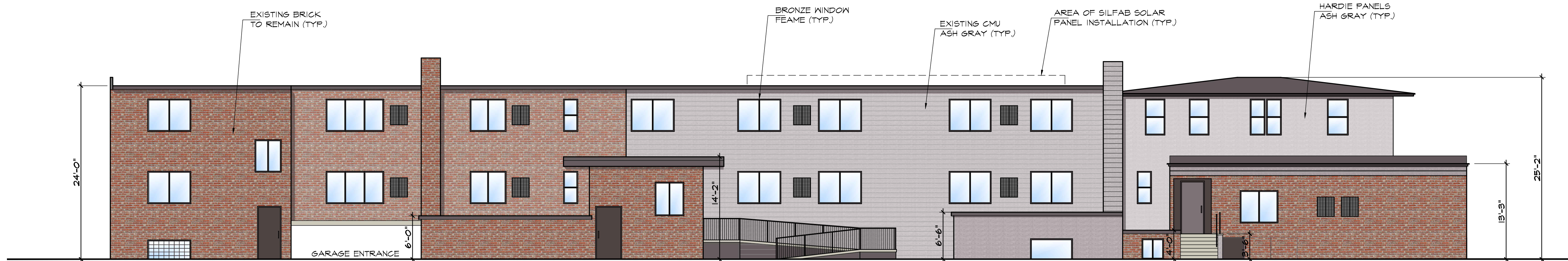
FILE NAME : 22058_A.201

JOB # : 22058

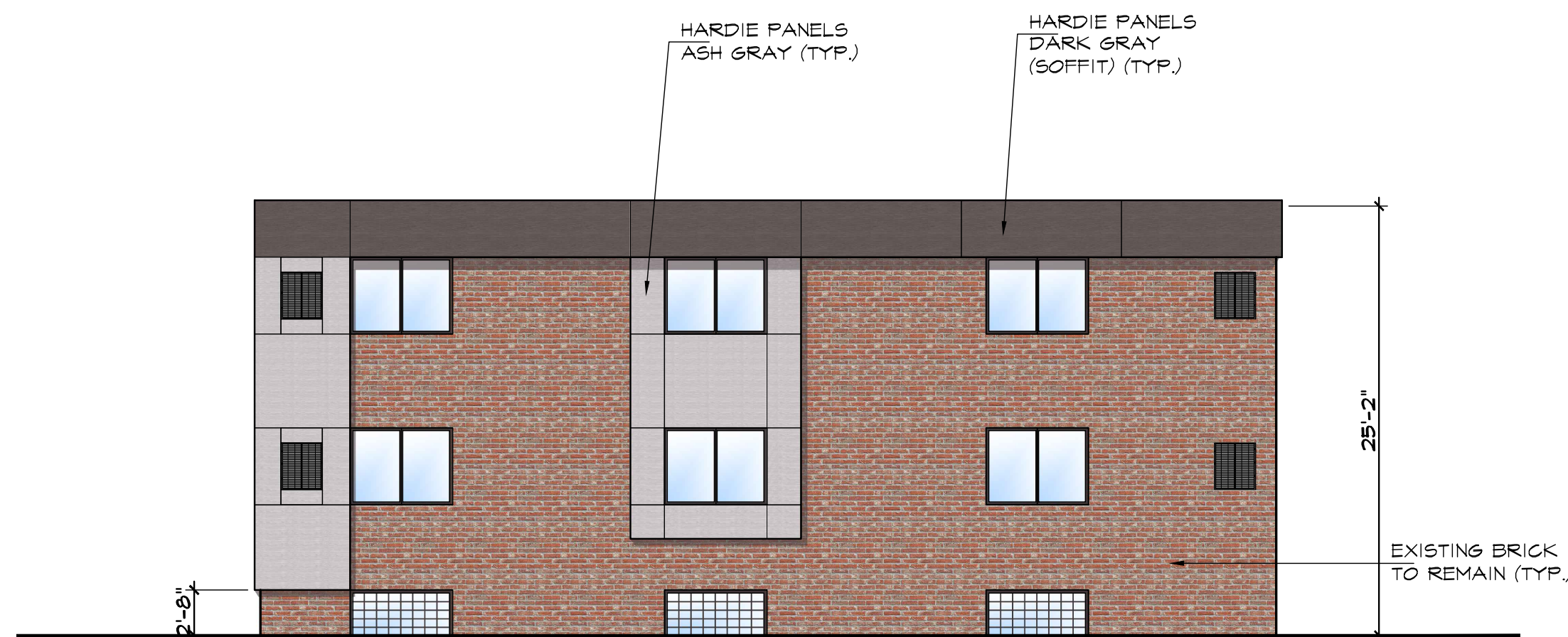
SHEET TITLE
**PROPOSED
ELEVATIONS**

SHEET #
A.201





1
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SCALE: 1/8" = 1'-0"



2
A.20/ **PROPOSED WEST ELEVATION**
SCALE: 1/8" = 1'-0"



3
A.20/ **PROPOSED EAST ELEVATION**
SCALE: 1/8" = 1'-0"



4
A.20/ **PROPOSED SOUTH ELEVATION**
SCALE: 1/8" = 1'-0"

ISSUED FOR	DATE
DEMOLITION PERMIT	4/16/2022
SPA	11/10/2022
REVISION (1)	12/16/2022
REVISION (2)	3/01/2023
REVISION (3)	3/01/2024

ARCHITECTURAL DESIGN

RESIDENTIAL
COMMERCIAL
INDUSTRIAL

G.A.V. ASSOCIATES, INC.
24001 ORCHARD LAKE RD. STE. 180A
FARMINGTON, MICHIGAN 48336
PH: (248) 985-9191
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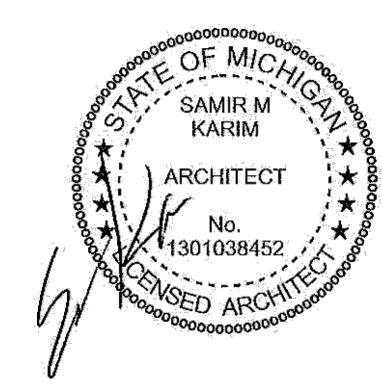
GAV ASSOCIATES

PROPOSED NEW APARTMENTS:
718 W. 4TH ST.
ROYAL OAK, MI 48067

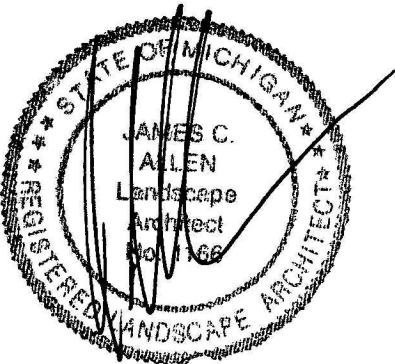
DRAWN:	DESIGNED:	CHECKED:
M.M.	SA	SA
SCALE : 1/8" = 1'-0"		
FILE NAME : 22058_A.201		
JOB # : 22058		

SHEET TITLE
PROPOSED ELEVATIONS

SHEET #
A.202



Seal:



Title:

Existing Conditions

Project:

718 West 4th Street
Royal Oak, Michigan

Prepared for:

GAV & Associates, Inc.
24001 Orchard Lake Road, Suite 180A
Farmington, Michigan 48336
248.985.9101

Revision:

Submission
Revised
Revised

Issued:

December 19, 2022
February 6, 2023
February 28, 2023

Job Number:

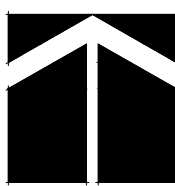
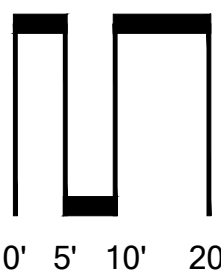
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Drawn By:

jca

Checked By:

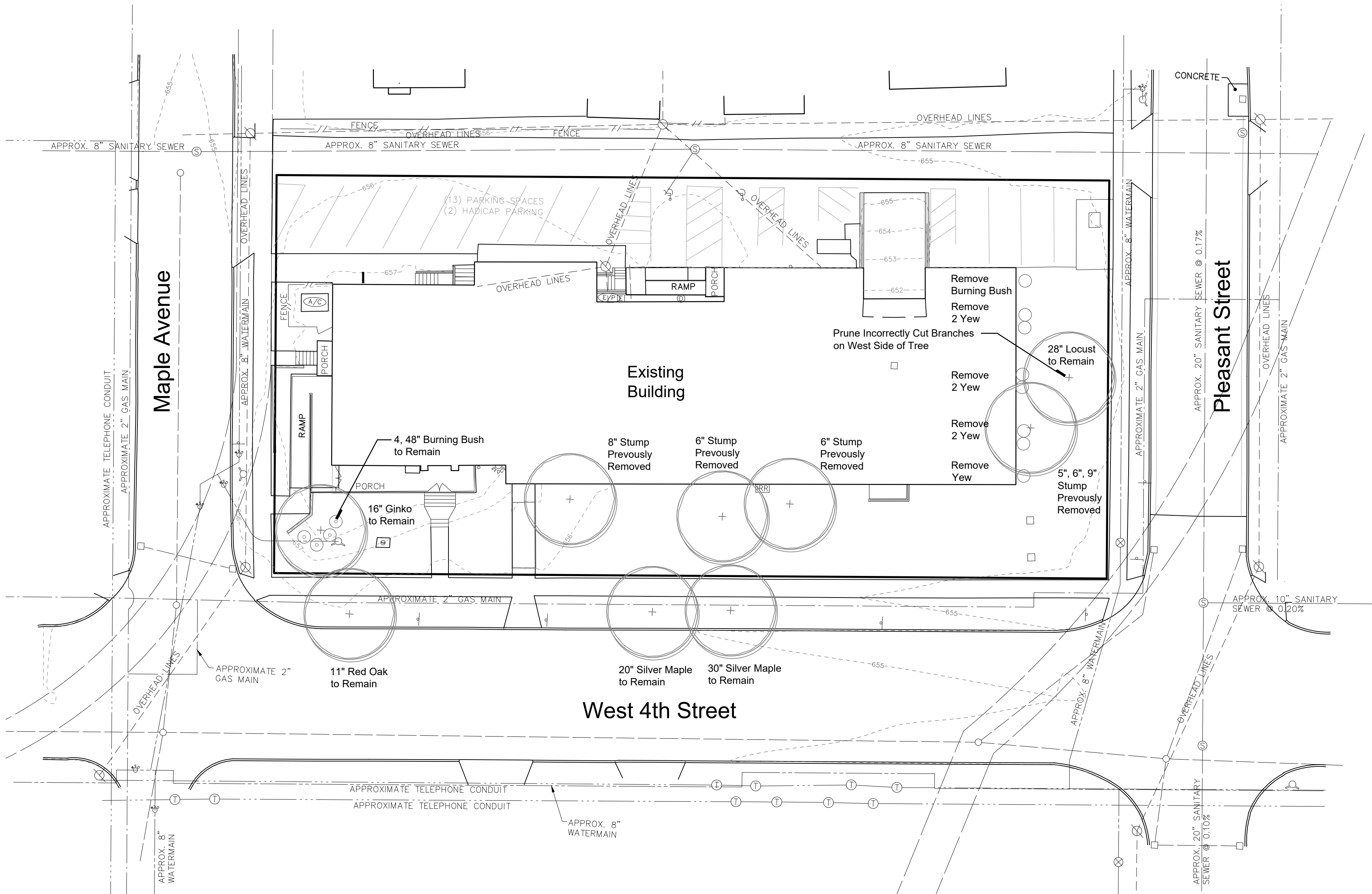
jca



NORTH
1"=20'

Sheet No.

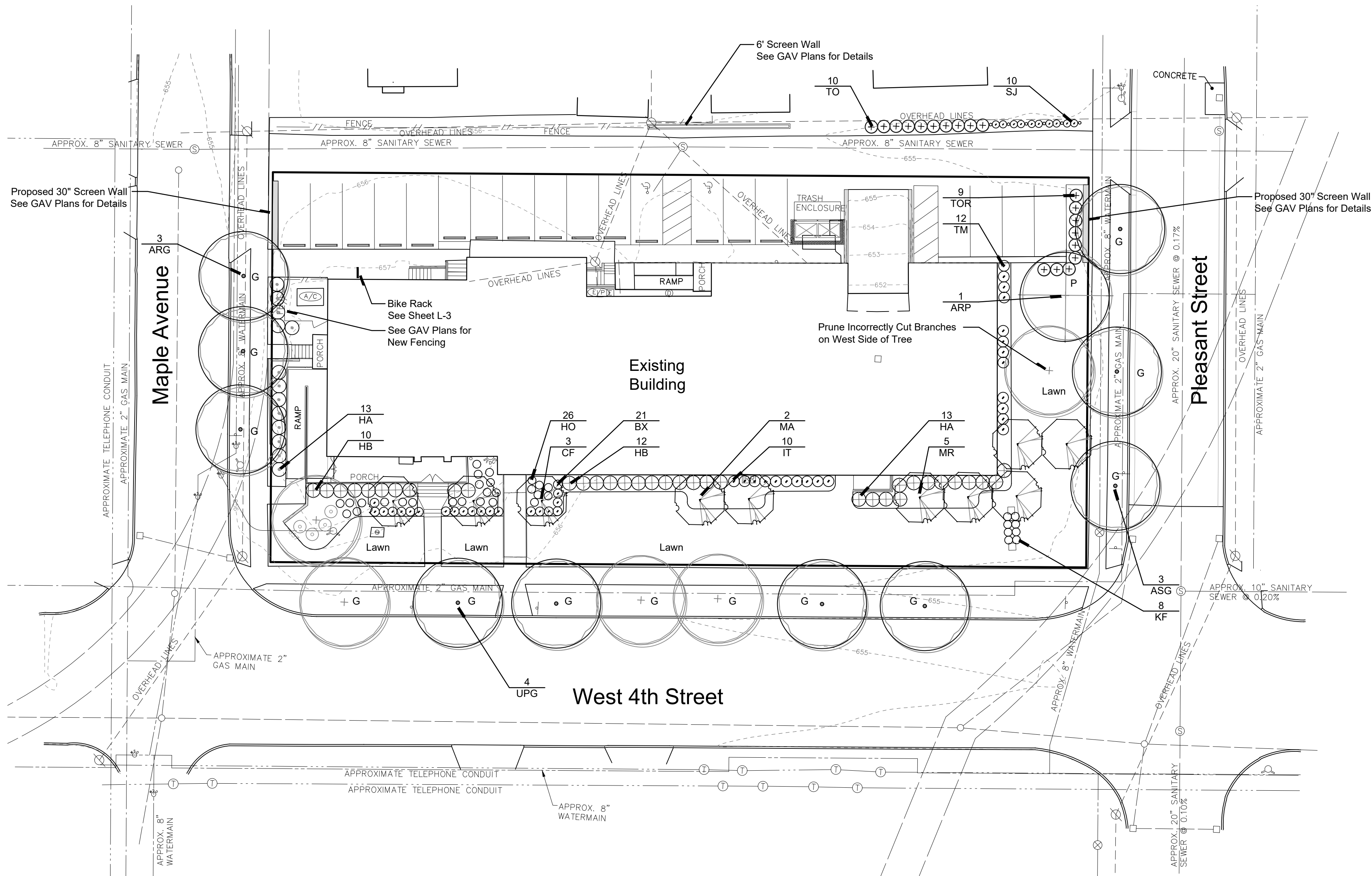
L-1



Tree Summary

Trees Over 2.5" D.B.H. Removed 4 Trees





Landscape Summary

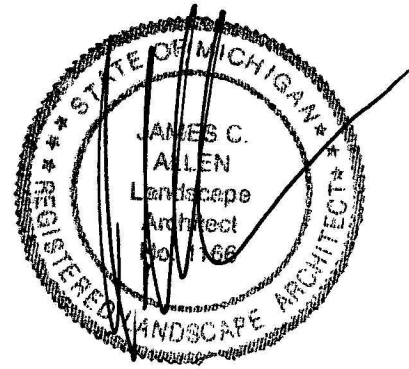
Land Use Screening	
Required Screening	6" Landscape Buffer or Wall
Proposed Screening	None Due to Existing Conditions. A Waiver is Requested.
Parking Lot Landscaping	
Spaces Shown	15 Spaces
Trees Required	1.8 Trees (15 / 8)
Trees Provided	1 Tree
Greenbelt	
Maple Avenue	
Frontage	109 I.f.
Trees Required	3.6 Trees (109 / 30)
Trees Provided	3 Trees
Pleasant Street	
Frontage	109 I.f.
Trees Required	3.6 Trees (109 / 30)
Trees Provided	3 Trees
4th Street	
Frontage	229 I.f.
Trees Required	7.6 Trees (229 / 30)
Trees Provided	7 Trees (3 Existing)
Foundation Plantings	
Foundation Frontage	303 I.f. (East, South and West Sides)
Ornamental Trees Required	10.1 Trees (303 / 30)
Ornamental Trees Provided	10 Trees
Shrubs Required	60.6 Shrubs (303 / 30) x 6
Shrubs Provided	95 Shrubs (4 Existing)
Tree Replacement	
Trees Removed	4 Trees
Trees Provided	9 Trees

Plant List

sym.	qty.	botanical name	common name	caliper	spacing	root	height
Parking Lot Plantings							
ARP	1	Acer rubrum 'Red Point'	Red Point Maple	2.5"	as shown	B&B	
	1	Tree Provided					
Greenbelt Plantings							
ARG	3	Acer rubrum 'Red Point'	Red Point Maple	2.5"	as shown	B&B	
ASG	3	Acer saccharum 'Legacy'	Sugar Maple	2.5"	as shown	B&B	
UPG	4	Ulmus x 'Triumph'	Triumph Elm	2.5"	as shown	B&B	
	10	Trees Provided					
Foundation Plantings							
BX	21	Buxus m. 'Green Mountain'	Green Mountain Boxwood		as shown	cont	18"
CF	3	Cornus florida	Flowering Dogwood	2.0"	as shown	B&B	
HA	26	Hydrangea 'Annabelle'	Annabelle Hydrangea		as shown	cont	24"
HB	22	Hydrangea p. 'Limelight'	Limelight Hydrangea		as shown	cont	24"
HO	26	Hosta Krossa Regal	Krossa Regal Hosta		as shown	cont	#3
IT	10	Itea virginica	Virginia Sweetspire		as shown	cont	24"
KF	8	Calamagrostis x. a. 'Karl Forester'	Karl Forester Grass		as shown	cont	#3
MA	2	Malus Adirondack	Adirondack Crab Apple	2.0"	as shown	B&B	
MR	5	Malus Red Barron	Red Barron Crab Apple	2.0"	as shown	B&B	
TM	12	Taxus x. media 'Densiformis'	Dense Yew		as shown	cont	24"
	10	Ornamental Trees Provided					
	91	Shrubs Provided					
General Planting							
SJ	10	'Spirea japonica 'Little Princess'	Little Princess Spirea		as shown	cont	24"
TO	10	Thuja occidentalis 'Techny'	Techny Arborvitae		as shown	B&B	6'
Tree Replacement							
TOR	9	Thuja occidentalis 'Nigra'	Eastern Arborvitae		as shown	B&B	6'
	9	Trees Provided					

Note:
All Disturbed Lawn Areas to be Repaired with Either Seed or Sod.

Seal:



Title:

Landscape Plan

Project:

718 West 4th Street
Royal Oak, Michigan

Prepared for:

GAV & Associates, Inc.
24001 Orchard Lake Road, Suite 180A
Farmington, Michigan 48336
248.985.9101

Revision:

Submission
Revised
Revised

Issued:

December 19, 2022
February 6, 2023
February 28, 2023

Job Number:

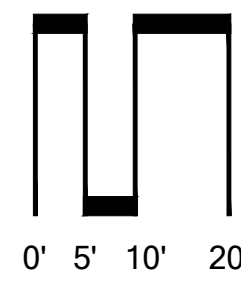
22-087

Drawn By:

jca

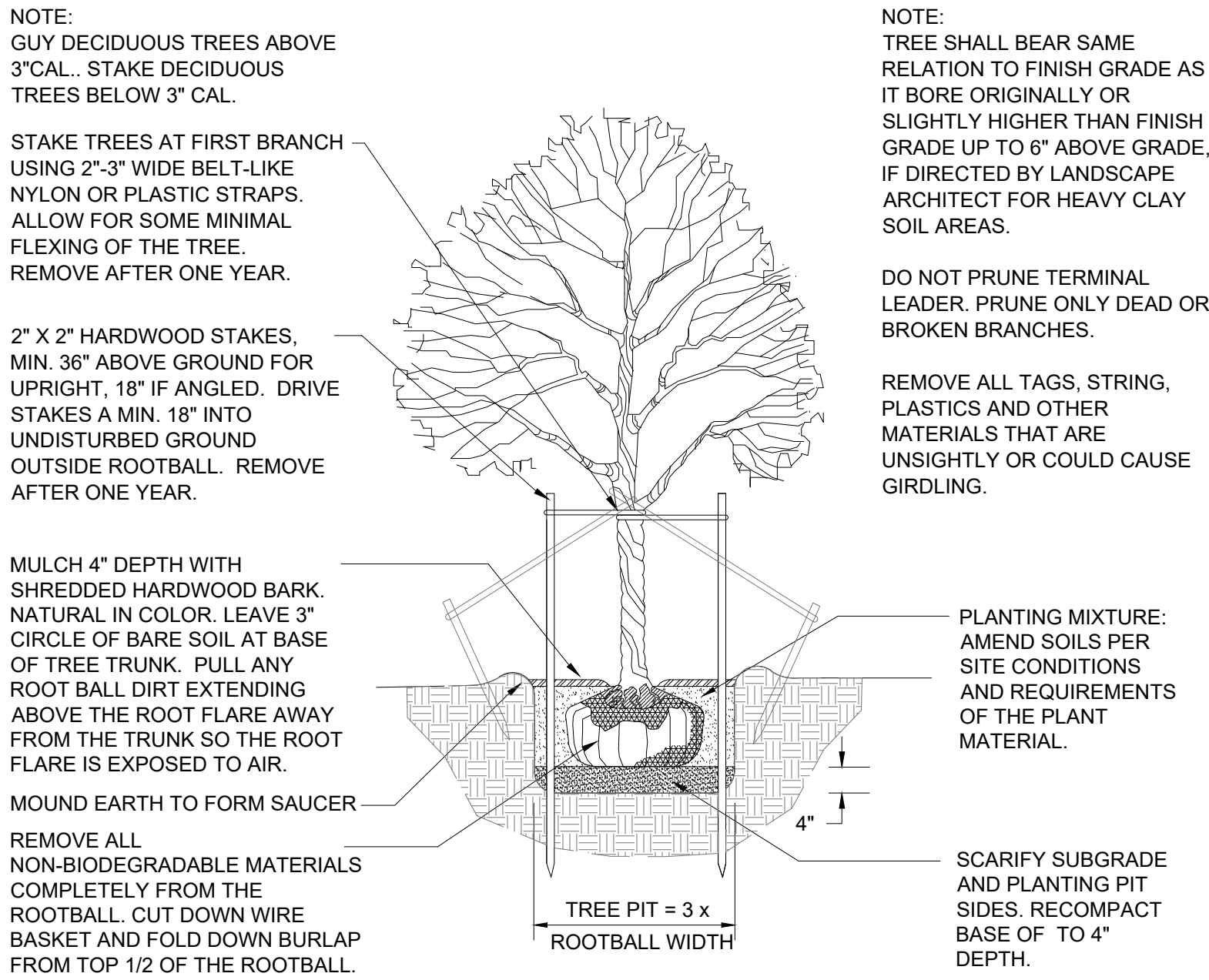
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jca

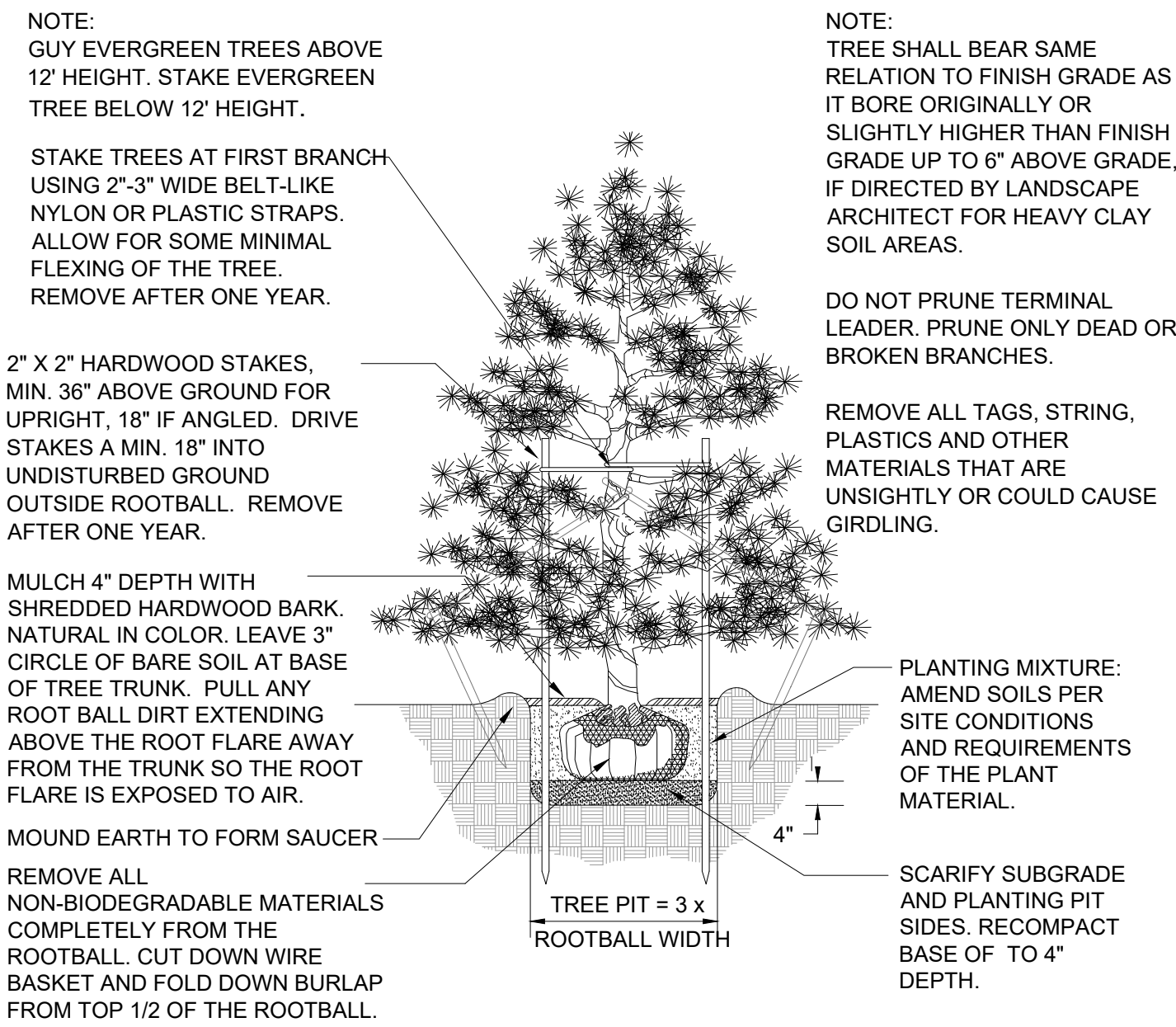


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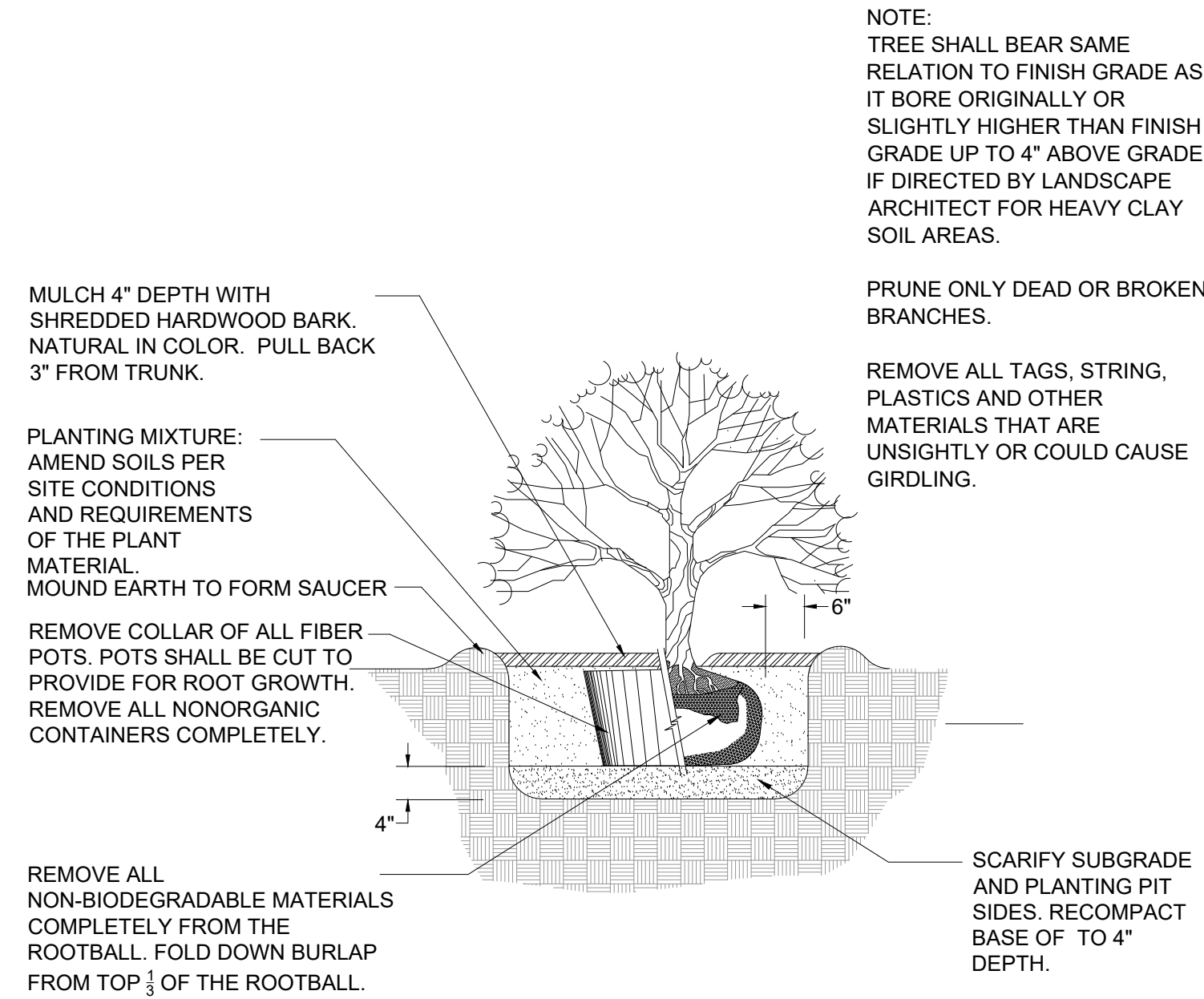
L-2



DECIDUOUS TREE PLANTING DETAIL

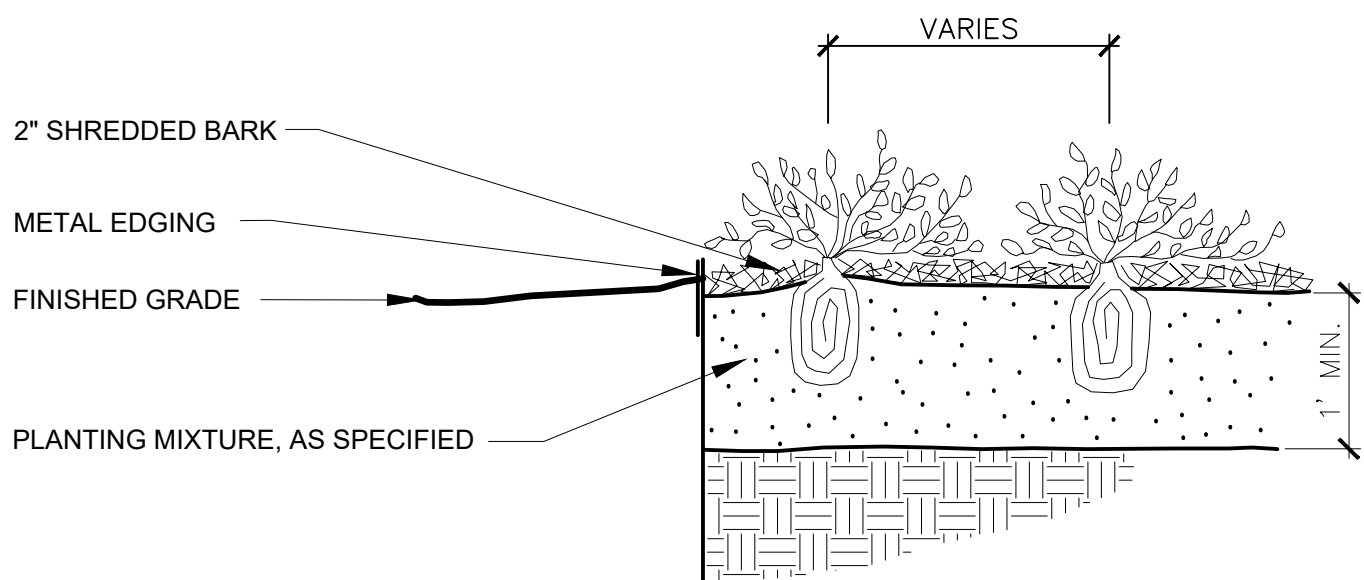


EVERGREEN TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

NOT TO SCALE



PERENNIAL PLANTING DETAIL

Not to scale

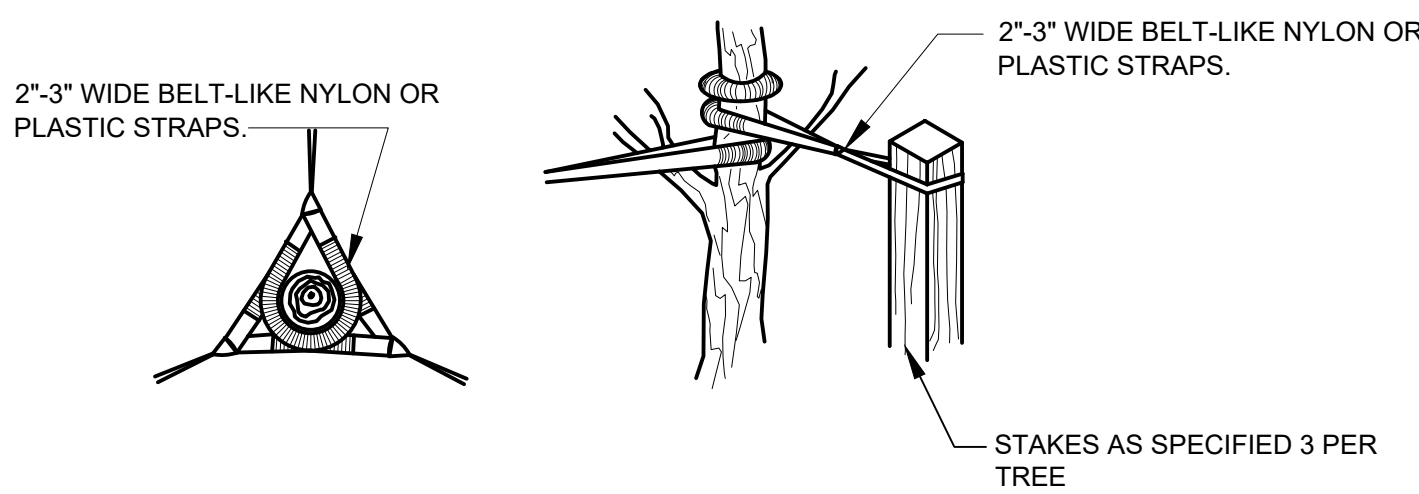
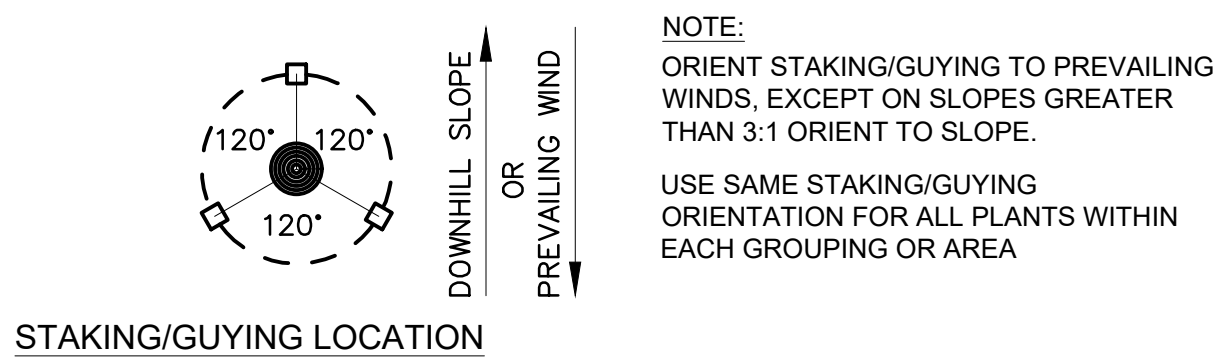
Bike Rack - Parking for 5 Bikes



DuMor Bike Rack Model 125-30
Color - Black

LANDSCAPE NOTES

- All plants shall be north Midwest American region grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and wind burn.
- Plants shall be full, well-branched, and in healthy vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least two (2) full years following Township approval.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, and stone.
- "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 peat, mixed well and spread to the depth as indicated in planting details.
- All plantings shall be mulched per planting details located on this sheet.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect.
- The Landscape Architect shall be notified of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans and specifications, if requested by owner.
- Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Preen" or equal, shall be applied uniformly on top of all mulching in all planting beds.
- All landscape areas shall be provided with an underground automatic sprinkler system.
- Sod shall be two year old "Baron/Cheriadelpi" Kentucky Blue Grass grown in a sod nursery on loam soil.



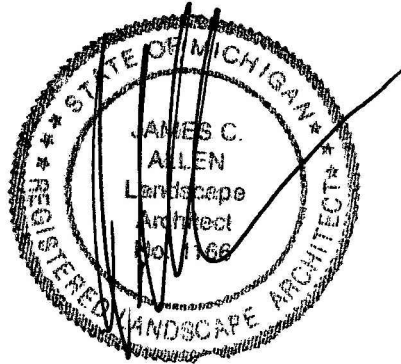
GUYING DETAIL

STAKING DETAIL

TREE STAKING DETAIL

Not to scale

Seal:



Title:

Landscape Details

Project:

718 West 4th Street
Royal Oak, Michigan

Prepared for:

GAV & Associates, Inc.
24001 Orchard Lake Road, Suite 180A
Farmington, Michigan 48336
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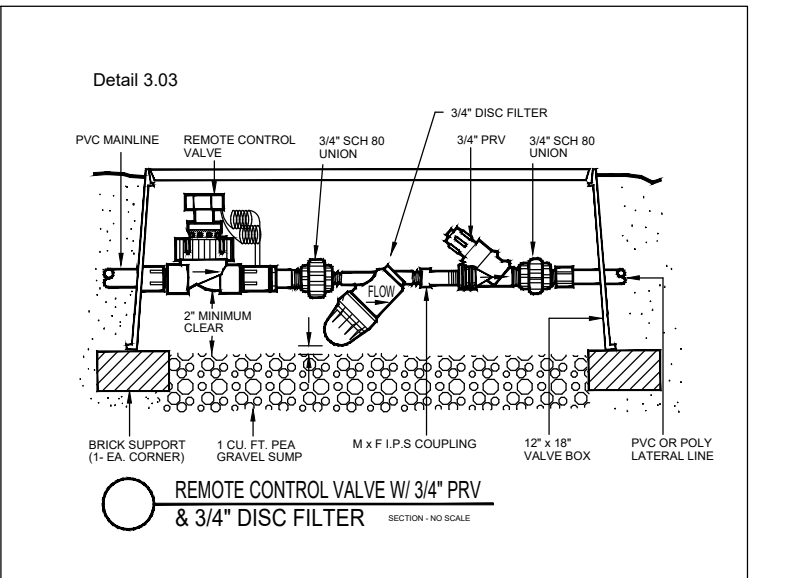
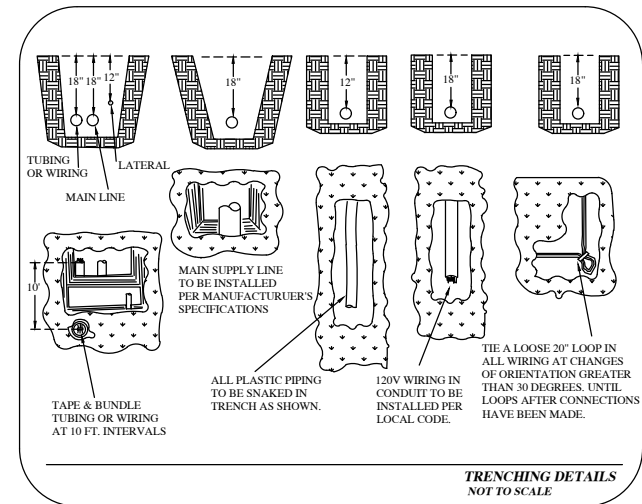
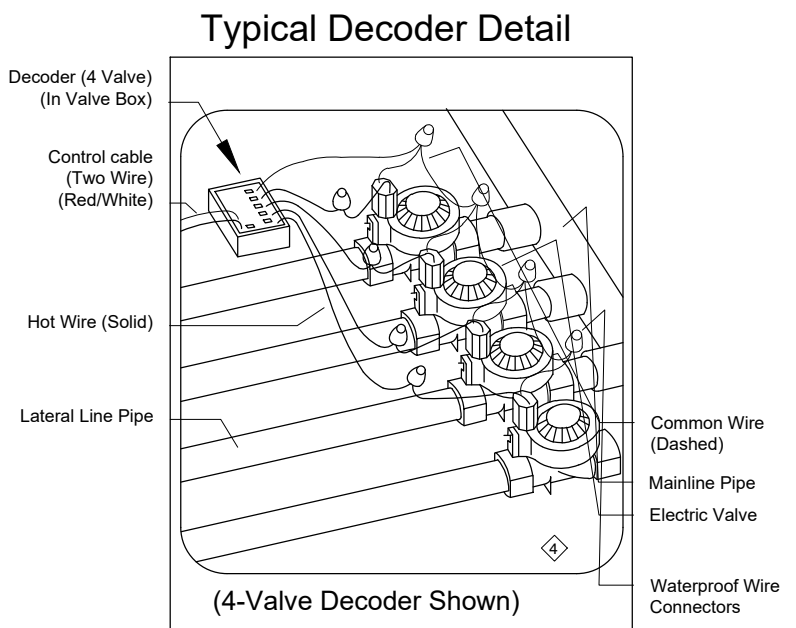
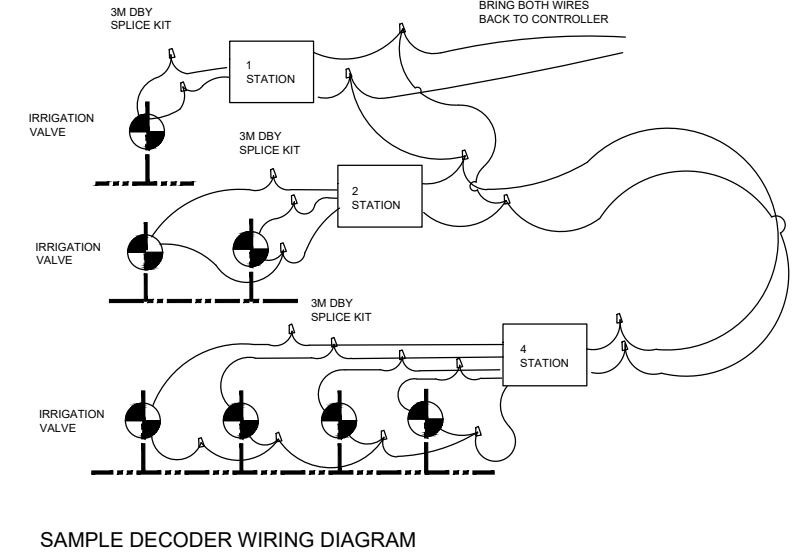
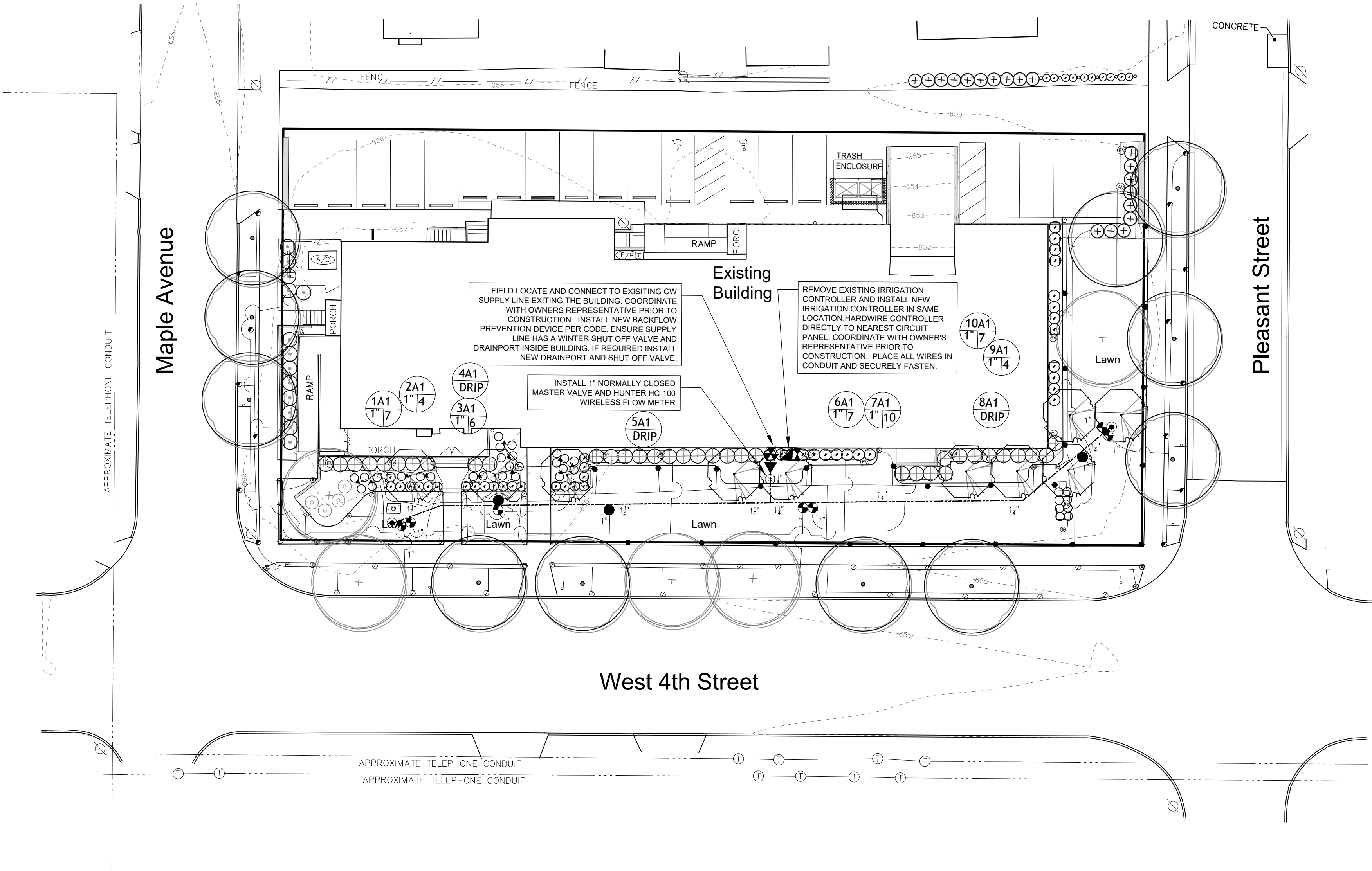
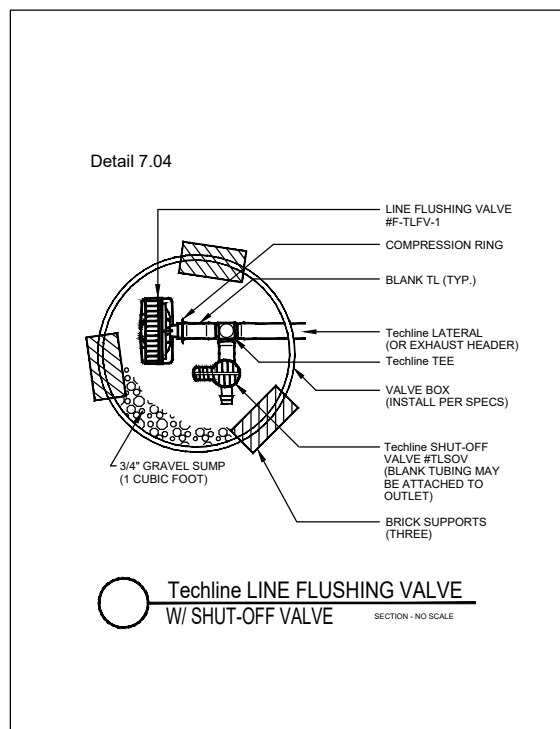
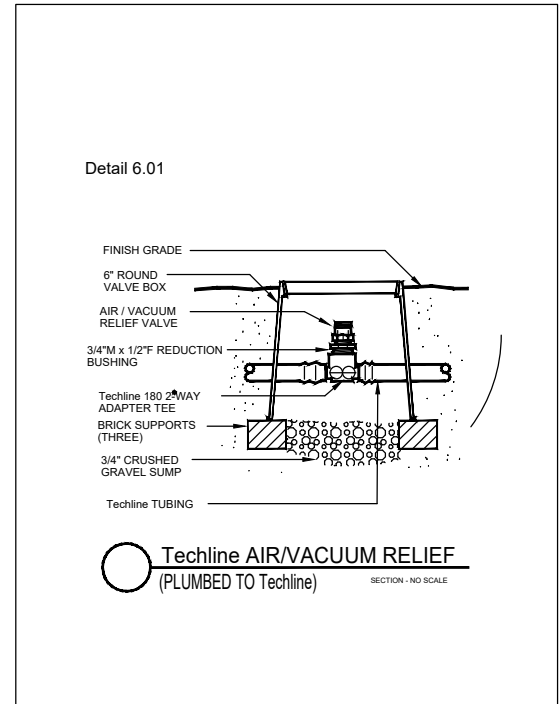
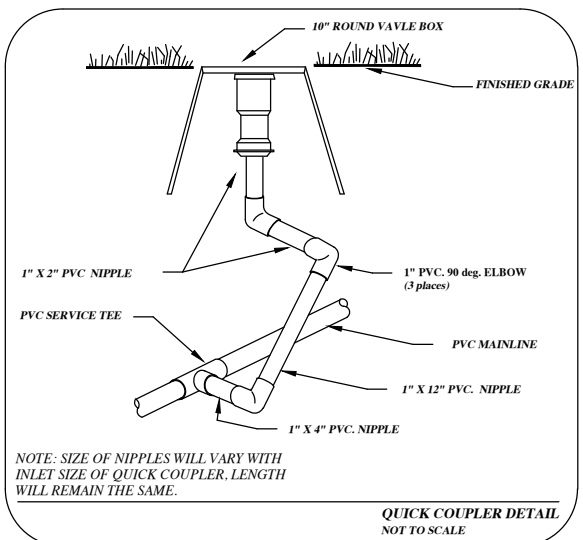
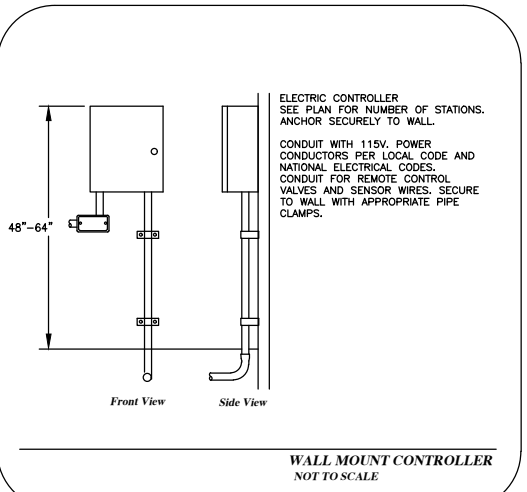
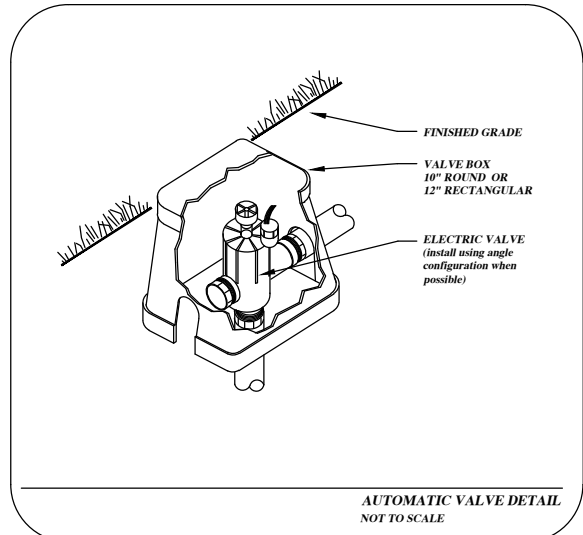
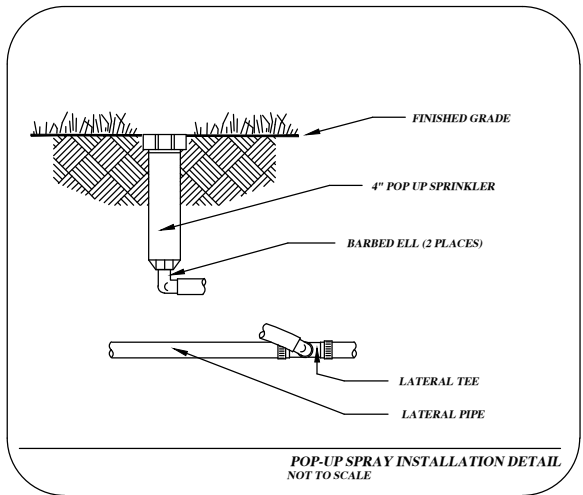
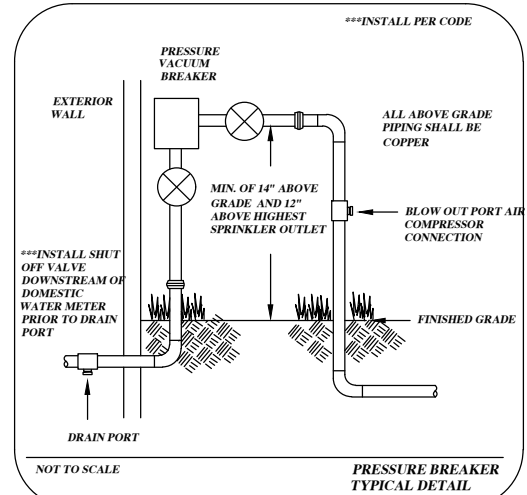
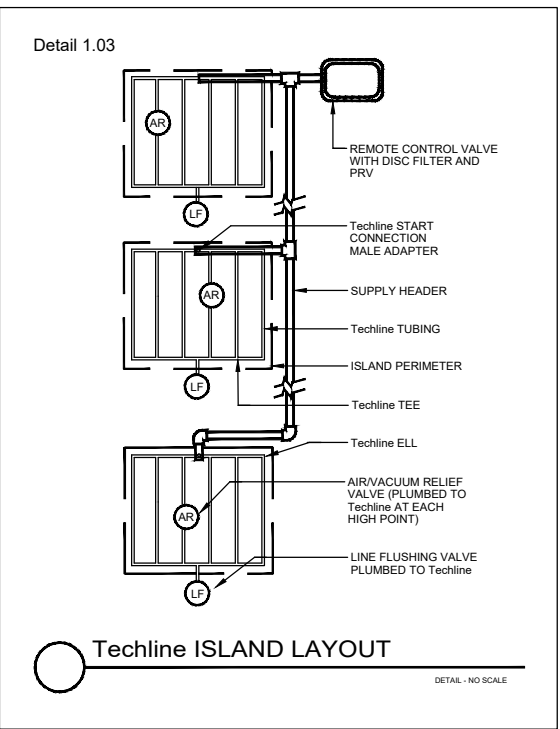
Checked By:

jca

Sheet No.



L-3



PIPE SIZE CHART

0-12 GPM	= 1" DIAMETER POLYETHYLENE PIPE
12-24 GPM	= 1 1/4" DIAMETER POLYETHYLENE PIPE
24-30 GPM	= 1 1/2" DIAMETER POLYETHYLENE PIPE
30-60 GPM	= 2" DIAMETER POLYETHYLENE PIPE

DRIP IRRIGATION LEGEND: NETAfim or equal

- LOW VOLUME CONTROL ZONE LVCZ-1007SLF
(AV) AIR RELIEF VALVE TLAVRV
(FV) LINE FLUSHING VALVE TLOSOMFV-1

DRIPPERLINE Landscape zones 12" row spacing TLVC4-12

NOTES:

- Install 12"x12"x12" sump of pea gravel below all line flushing valves for adequate drainage.
- Install techline above grade in the shrub beds and use techline staples as recommended within the specifications. Shrub beds cover techline with 3" mulch. Perennials beds cover techline with 1-1/2" mulch.
- Do not snake tubing back and forth in planting beds.
- Place tubing on each side of hedges and grass plant types.
- Begin and end each row of tubing at a PVC header pipe as detailed
- Perennials and groundcover place tubing in rows with 12" on center spacing maximum.
- Install a zone indicator flag or pop up stem on each dripzone to give visual notice of zone operation. Install flag/stem in an inconspicuous location within the drip zone safe from vandals.

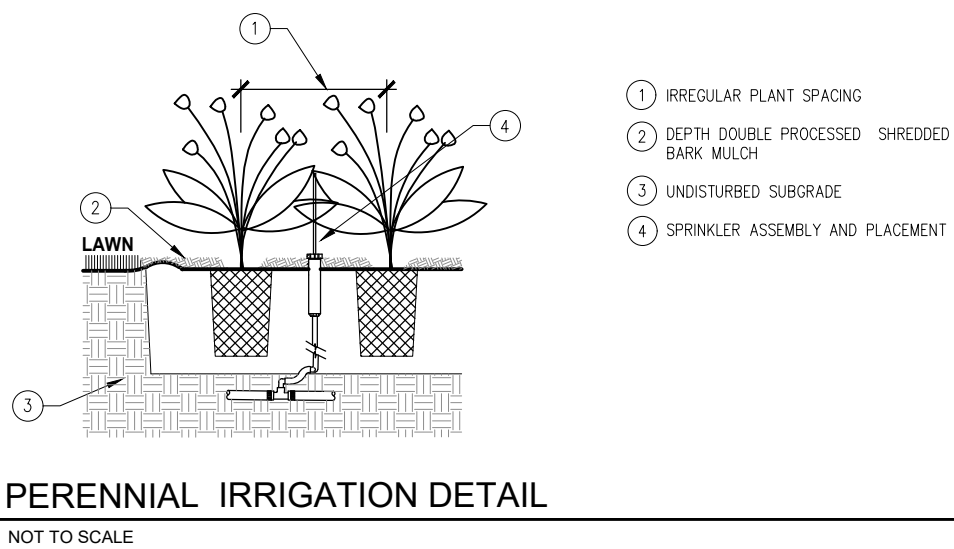
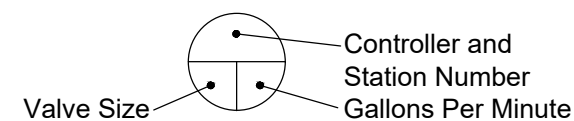
NOTES:

- Refer to the specifications for installation details and descriptions, as well as, construction methods which will be accepted.
- All work shall be in compliance with all local, state, and federal codes and ordinances.
- All electrical connections shall be made using 3m DBY-6 splice kits.
- All control wiring downstream of the controller shall be HUNTER IDWIRE UL approved for direct bury.
- All polyethylene lateral pipe clamps shall be stainless steel worm gear type clamps. Lateral pipes 1-1/2" or larger shall be double clamped.
- Pipe routing is schematic. All heads are to be field adjusted to within 2' to take into consideration any obstruction. Final head placements are subject to the landscape architects approval.
- All sprinkler heads shall be mounted on 2 elbow poly swing joints as specified.
- Contractor to verify final controller location with owner's authorized representative prior to installation.
- All pipe not sized downstream of control valve is 1".
- All sleeves shall be PVC SDR 21 (see specifications).
- Irrigation contractor's point of connection to water source shall be as noted on this sheet.
- Locate and connect to indicated water source. All pipe installed above grade shall be copper type "M".
- 120v power to the controller locations should be provided others. Coordinate with owner's representative. Hardwire controller directly to nearest circuit panel. Place all wires in conduit per code.
- Design pressure does not take into account seasonal supply fluctuations. Periods of drought may cause temporary pressure losses to the city water supply resulting in inadequate irrigation system performance. Irrigation design is based on normal weather conditions and typical municipal water supply abilities.
- Irrigation contractor shall be responsible for determining and maintaining the irrigation schedule during the project construction and throughout the length of the warranty period.
- The irrigation schedule shall deliver 1" of precipitation per week +/- natural rainfall quantities for turf grass.
- Landscape material shall receive adjusted amounts of precipitation to maintain proper plant health.
- Landscape and turf grass shall be irrigated separately.
- Rotors and spray zones may not be combined to operate at the same time.
- When specified, follow manufacturer's product recommendations concerning proper installation of water flow sensors. Allow proper straight pipe distances before and after flow sensors.

IRRIGATION LEGEND:

FIXED SPRAY POP-UP (12") w/ specialty nozzle ▲ 2" radius nozzle ● 4" radius nozzle	PROS-12-cv
FIXED SPRAY POP-UP (4") w/ MPR nozzle ◇ MP1000 ● MP2000 ○ MP3000 ● MPSS530/MPLC(RC)15 ⚙ MP800	PROS-04 PRS40-CV
ELECTRIC MASTER VALVE - LINE SIZE w decoder	ICV- Series
ELECTRIC VALVE with EZDS decoders	ICV- AS ADJ Series
QUICK COUPLER VALVE	HQ 44 RC
ELECTRIC CONTROLLER	HPC with EZDS
PRESSURE VACUUM ASSEMBLY	FEBCO 76SP100
ISOLATION GATE VALVE (LINE SIZE)	
RAIN SENSOR DEVICE (Install at all controller locations) RAIN CLIK (wireless)	
POINT OF CONNECTION TO WATER SOURCE	See note this sheet
PVC MAINLINE, SDR 26, BE, Size as shown	
POLYETHYLENE PIPE, 100#, NSF APPROVED, Size as shown	
PVC SLEEVES - SDR 21 - Size as shown	

WATER REQUIREMENTS: 12 GPM @ 55 PSI
(CONTRACTOR TO VERIFY PSI AVAILABLE ON SITE PRIOR TO SYSTEM INSTALLATION)



LIQUID ASSETS

IRRIGATION DESIGN & WATER MANAGEMENT

4843 Kittery NW
Comstock Park, Michigan 49321
Tel. (248) 789-0330
email: abarnes@lqdassets.org
www.lqdassets.org

ALLEN DESIGN

LAND PLANNING / LANDSCAPE ARCHITECTURE

557 Carpenter
Northville, Michigan 48167
e. jca@wideopenwest.com
t. 248.467.4668

Seal:

Title:
Irrigation Plan

Project:

718 West 4th Street
Royal Oak, Michigan

Prepared for:

GAV & Associates, Inc.
24001 Orchard Lake Road, Suite 180A
Farmington, Michigan 48336
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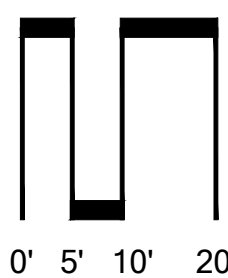
22-087

Drawn By:

ajb

Checked By:

jca



Sheet No.

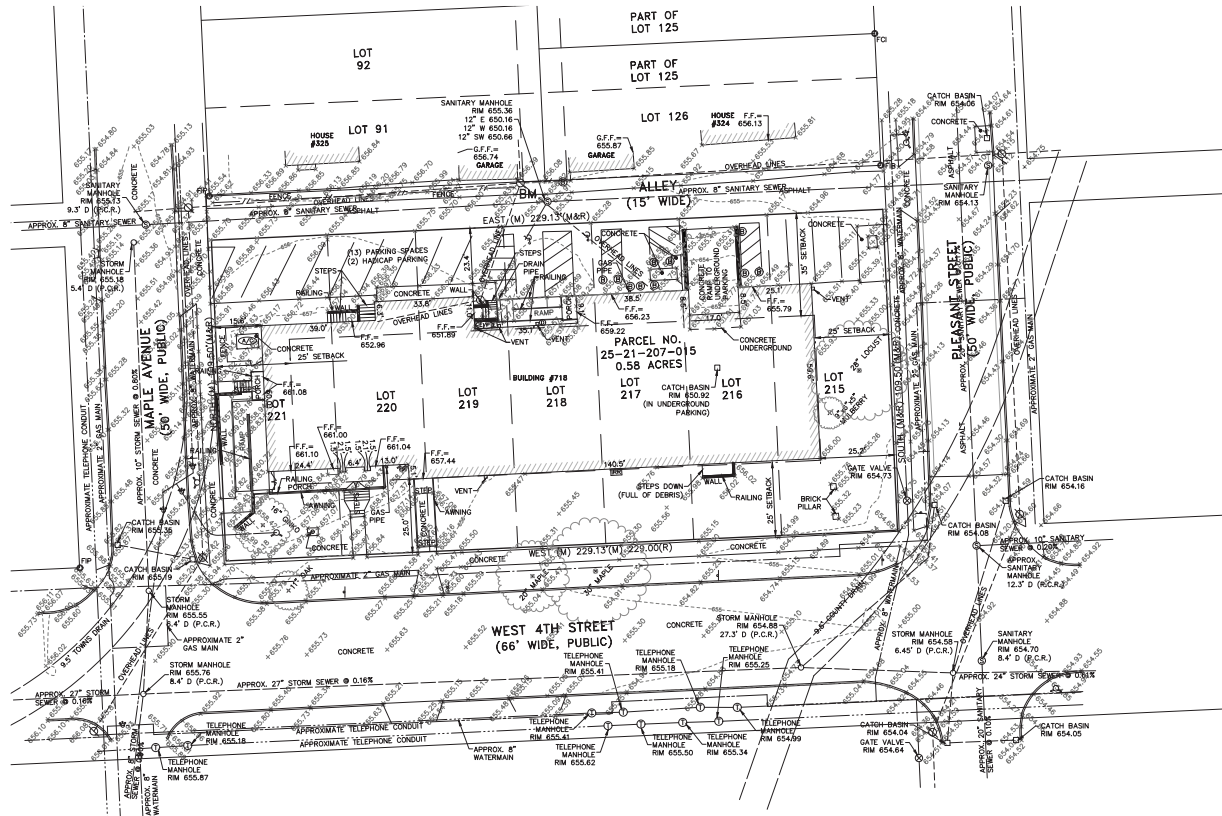


L-4



LEGEND

○ PIP	FOUND IRON PIPE
○ FIB	FOUND IRON BAR
○ CFI	FOUND CAPPED IRON
(M)	MEASURED
(R)	RECORD
---	EX. CONDUIT
---	EX. GAS MAIN
---	EX. OVERHEAD LINES
---	EX. SANITARY SEWER
---	EX. STORM SEWER
---	EX. WALL
---	EX. WATER MAIN
---	EX. FENCE
---	EX. AIR CONDITIONER
○	EX. BOLLARD
○	EX. CATCH BASIN
○	EX. DOWNPOUT
○	EX. ELECTRIC METER
○	EX. ELECTRIC PANEL
○	EX. FIRE EXPT. CONNECTION
○	EX. FLAG POLE
○	EX. GAS METER
○	EX. GATE VALVE
○	EX. HYDRANT
○	EX. IRRIGATION VALVE
○	EX. SANITARY MANHOLE
○	EX. SIGN
○	EX. TELEPHONE MANHOLE
○	EX. UTILITY POLE
○	EX. WATER SHUT OFF
○	EX. DECIDUOUS TREE
○	EX. CONIFEROUS TREE



ZONING:

ONE FAMILY OVERLAY DISTRICT

SETBACKS:

FRONT: 25 FEET
SIDES: 5 FEET ONE SIDE, 15 FEET TOTAL BOTH
REAR: 35 FEET

*ARCHITECT OR DESIGN INDIVIDUAL TO VERIFY SETBACKS
WITH THE CITY OF ROYAL OAK AND/OR ANY
HOMEOWNER'S ASSOCIATION ORDINANCE PRIOR TO
DESIGN.

BENCHMARK:

BM IN THE SOUTH SIDE OF A UTILITY POLE ON
THE NORTH SIDE OF THE ALLEY.
ELEVATION: 656.39 N.A.V.D.88

SURVEY NOTES:

1. TITLE WORK WAS NOT PROVIDED. EXISTING EASEMENTS, IF ANY,
HAVE NOT BEEN SHOWN.
2. A WETLAND AND TREE SURVEY WERE NOT PERFORMED AS PART
OF THIS SURVEY.

LEGAL DESCRIPTION (BY OTHERS):

LOTS 215 TO 221 OF "MEADOW PARK ADDITION", A SUBDIVISION
OF PART OF SECTION 21, TOWN 1 NORTH, RANGE 11 EAST, CITY OF
ROYAL OAK (FORMERLY VILLAGE OF ROYAL OAK), OAKLAND COUNTY,
MICHIGAN, AS RECORDED IN LIBER 6 OF PLATS, PAGE 22, OAKLAND
COUNTY RECORDS.

FLOOD HAZARD STATEMENT:

THIS PROPERTY IS LOCATED ON A PANEL THAT WAS NOT PRINTED AS
SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FOR
MICHIGAN FLOOD INSURANCE RATE MAP (FIRM) #81250008P
(COMMUNITY ID NO. 260178 - CITY OF ROYAL OAK, OAKLAND
COUNTY, MI) WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2006. THIS
STATEMENT IS BASED ON THE RESULTS OF GRAPHIC PLOTTING ONTO
THE ABOVE NAMED MAP AND PANEL, WHICH IS THE CURRENT MAP
FOR THE COMMUNITY IN WHICH THE PROPERTY IS LOCATED.

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE
CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE
EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE
WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY
STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN
AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY
COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY
THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS
TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR
SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES
BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE
FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE
CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND
ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE
DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.



Know what's below
Call before you dig.

GAV & ASSOCIATES, INC.

TOPOGRAPHIC SURVEY

718 WEST 4TH STREET - PARCEL NO. 25-21-207-015
SECTION 21
TOWNSHIP 1 N.
RANGE 11 E.
CITY OF ROYAL OAK
OAKLAND COUNTY
MICHIGAN

CLIENT:

REVISED

DATE: 9-19-2022
DRAWN BY: ACS/JPP
CHECKED BY: JPP/DLL

FBIC: ---
CPI: MM
SCALE: HOR 1"=20 FT.
VER 1"=10 FT.





4444 2nd Ave
Detroit, MI 48201
Phone: 313-960-7900

Custom Solar Proposal for:

Ali Chami
718 W 4th St
Royal Oak, MI 48067

Proposal Design Highlights

System. Size: 22.96 kW

Consumption Offset: 98%

Year One Estimated Production: 29,264 kWh

Lifetime Savings: \$103,944

Utility Bill Offset: 70%



Sales Representative:

Seger Weisberg
seger@strawberrysolar.com
248-535-3771

Proposal Created on
February 20th, 2024

This proposal is valid for 45 days



Performance Analysis

System Production

Total DC System Size: 22.96 kW DC
Estimated Production (Year 1): 29,264 kWh

Total AC System Output: 19.54 kW AC
Estimated Production (Lifetime): 689,334 kWh

Irradiance Map

Shading analysis considering nearby structures and trees determines the irradiance of your array. Irradiance is the rate that solar energy contacts a surface.



Environmental Impacts

1,150
Barrels of Oil
Replaced



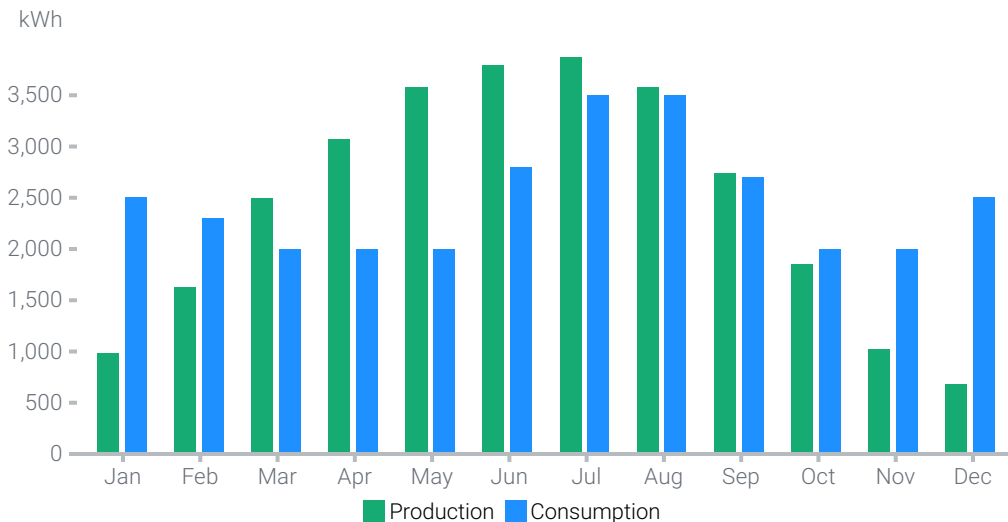
12,675
Trees Planted



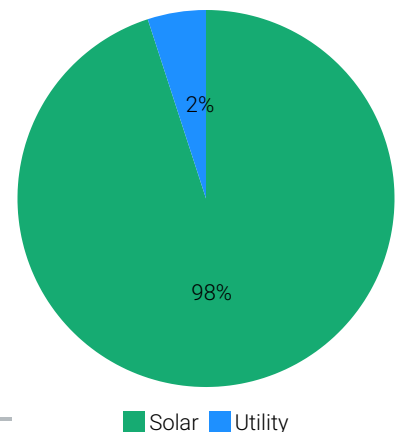
4
Vehicles off the
road



Month-by-Month Production/Consumption Chart



Energy Offset



(kWh)	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual
Utility Consumption Pre-Solar	2,500	2,300	2,000	2,000	2,000	2,800	3,500	3,500	2,700	2,000	2,000	2,500	29.8k
Utility Consumption Post-Solar	1,517	675	(496)	(1,065)	(1,578)	(990)	(373)	(73)	(33)	148	981	1,825	536
Solar Production	983	1,625	2,496	3,065	3,578	3,790	3,873	3,573	2,733	1,852	1,019	675	29.3k



Financing & Costs

Financing Option

Michigan Saves Home Energy Loan Program
8.25% for 25 years

- Fixed interest rates and terms. No prepayment penalties
- Reamortization available - "Payments 17+" assumes full Federal Investment Tax Credit value is applied to loan in month 16.
- Payments may differ based on when payment is applied.
- Homeowner(s) must apply directly for a loan with Michigan Saves. Lender has range of products, with offerings to be determined by location, credit score, and borrowing amount.

Monthly Loan Payments

Payments 1-16

\$561

Payments 17+

\$390

System Cost

\$71,152

Financial Analysis:

Lifetime Savings (Loan):	\$32,836
Lifetime Savings (Cash):	\$103,944
Payback Period (Cash):	11.3 Yrs
Internal Rate of Return (Cash):	8.83%

Price-Per-Watt (\$/W)	\$3.10
Down Payment:	\$0
ITC Amount:	\$21,346
Net Cost:	\$48,566

Incentives:

Federal Investment Tax Credit (ITC) - 30% of total costs

- The Federal Investment Tax Credit is a dollar-for-dollar reduction against your owed income tax for the year in which the installation is completed and your PV system is commissioned.
- Eligible expenses that qualify for the ITC include all materials (both solar PV and energy storage), labor, and permitting, inspection, and interconnection fees, and all sales tax.
- Strawberry Solar does not provide tax advice. We recommend consulting your tax advisor to determine your eligibility and expected tax liability to access the tax credit.

Utility Distributed Generation Rates - Detroit Edison Co

- Electricity generated from solar panels will be self-consumed. Any excess electricity will be exported to the utility grid at a set credit value per kilowatt-hour and applied to any imported electricity rates either within that billing cycle or in future billing cycles.
- The credit value per kilowatt-hour of exported electricity is equal to the retail rate minus the distribution charge for the rate schedule/period of the utility meter for most electric utility providers. Some utilities have a fixed export rate.
- Your Strawberry Solar sales representative can advise you on the best rates available with your utility company under their distributed generation program.

State/Local Incentives

- The State of Michigan currently does not provide any incentives for businesses or homeowners.
- Local municipalities may offer additional incentives, however Strawberry Solar does not have a database. Inform your sales representative if you are aware of any local incentives we may not be aware of.



Utility Bill Analysis

Utility Bill Impacts

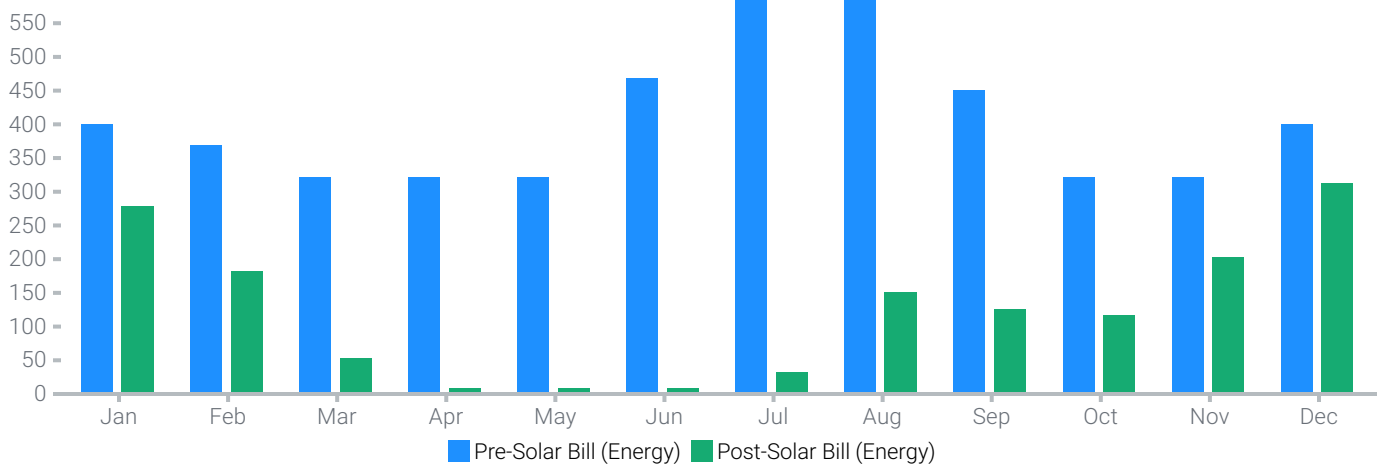
Without Solar

Monthly Average Bill (Year 1)	\$406
Annual Utility Cost (Year 1)	\$4,867
Current Rate Costs	~\$0.18/kWh

With Solar

Monthly Average Bill (Year 1)	\$123
Annual Utility Cost (Year 1)	\$1,476
Solar (Levelized) Rate Costs	\$0.17/kWh

Monthly Utility Bill Comparison Chart - Year One



Annual Average Utility Bill Comparison - Assuming **5% utility escalation rate**

\$405.6

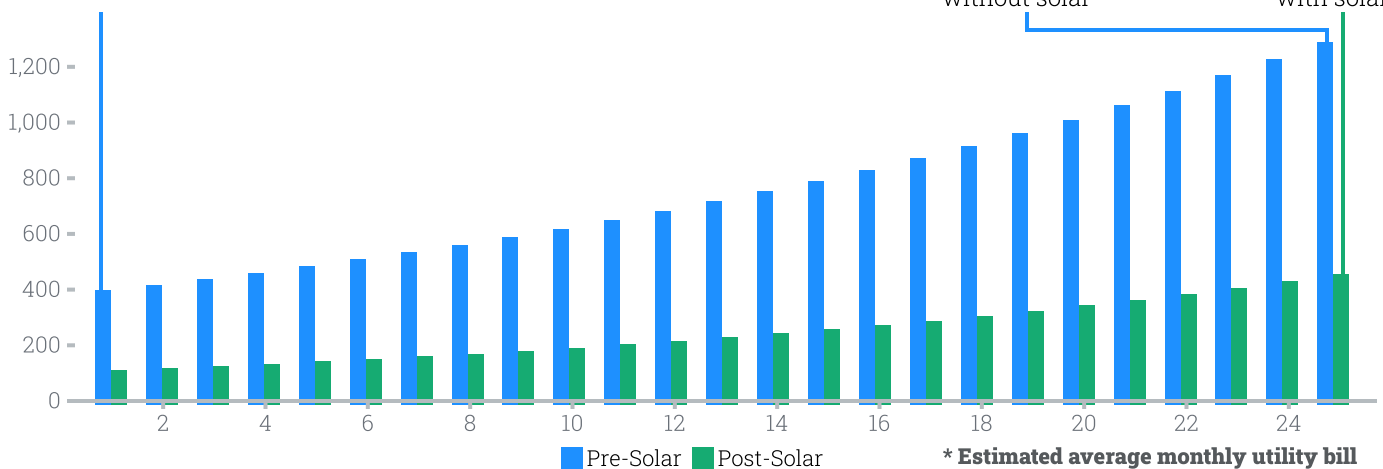
Current bill*

\$1,289.2

Bill in 25 years
without solar*

\$463.85

Bill in 25 years
with solar*



* Estimated average monthly utility bill



System Summary

System Equipment

Type	Manufacturer	Model	Quantity
Module	Silfab Solar	SIL-410 HC+	56
Microinverter	Enphase Energy Inc.	IQ8A-72-2-US	56
Combiner Box	Enphase Energy Inc.	X-IQ-AM1-240-5	1

Equipment Details

Panels - Silfab Solar SIL-410 HC+

Warranty - Silfab solar panels are backed by a warranty that guarantees minimum power output of 82.6% after 30 years and covers materials and workmanship for 25 years extended from 12 years. **See spec sheet to confirm accurate image of panel*

Features

Size - 410 Watts

Cell Count - 132 half-cell

Efficiency - 20.7%

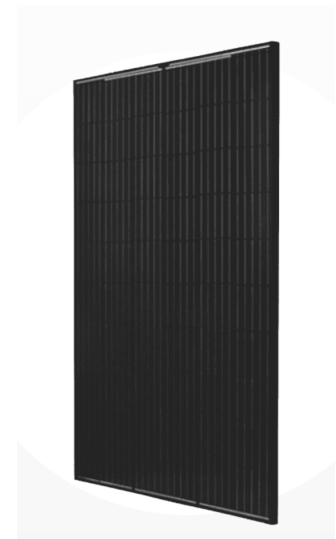
Annual Degradation Rate - 0.483% (2.9% in first year)

Dimensions - 75.3 x 40.8 x 1.37 inches

Racking - IronRidge Flush Mount Racking System

Every component in the IronRidge Flush Mount System has been tested to the limit and proven in extreme environments: rain, wind and snow.

Their rigorous approach has led to unique structural features, such as curved rails, universal fastening objects, innovative tile attachments and reinforced flashings. All products are fully-certified, code-compliant, listed to UL 2703 and backed by a 25-year warranty. **Note racking components come in black powder-coated finish*





System Summary

Equipment Details

Microinverters - Enphase Energy Inc. IQ8A-72-2-US

The Enphase Microinverter offers efficient production as each unit will operate independently and include burst technology to lengthen the solar day. Commitments to quality in manufacturing and testing allow for a reliable and easy-to-install component, and with the conversion to AC electricity right at each panel means that a lower voltage is traveling through your home to reach your electrical panel.

Warranty - Enphase provides a 25-year warranty protecting from defects in workmanship and materials

Combiner/Communication Hub - Enphase IQ Gateway/IQ Combiner

The Enphase IQ Gateway collects real-time data and delivers remote updates back out to each microinverter to keep your system in constant communication with their monitoring and software platform. Besides up-to-date monitoring capabilities, the Envoy can pinpoint performance issues with ease for quick and remote resolution.

Warranty - Enphase provides a 5-year warranty protecting from defects in workmanship and materials

System Monitoring - Enphase App

With the Enphase App web application, system status is available at-a-glance and also provides features to view details of your systems overall health and performance and per-panel production. This monitoring platform provides production and your home consumption data all in one place.





4444 2nd Ave
Detroit, MI 48201
Phone: 313-960-7900

Hello Ali,

Thank you for considering Strawberry Solar to partner with you in your search for energy independence. We are committed to a quality installation, and will strive to ensure your total satisfaction with our products and service. A 5-year guarantee for 90% of the estimated production shown on this proposal is included in a signed contract agreement.

Strawberry Solar offers a turnkey solar installation, and the price we have quoted includes all costs associated with residential solar arrays including engineering, permitting with your municipality, interconnection with your utility, and inspections. The quote also includes all state of Michigan sales tax.

The building permit will be applied and paid for under Joseph Nagle's Michigan Builders License. All electrical work will be performed by a licensed and insured master electrician, who will pull the electrical permit. All work performed by Strawberry Solar and its subcontractors will be protected under our 10-year workmanship warranty, and roof-mounted arrays include a 5-year roof-leak guarantee.

If you would like to move forward with us as your contractor, the next step is signing the necessary agreements so we can begin scheduling your installation and start the engineering and permitting process. We hope to work with you to ensure a great investment and help make a positive environmental impact.

Please reach out to your Strawberry Solar sales representative with any questions or concerns you have.

Find out more about our company, including reviews from our past customers on the below platforms:



Michigan Saves®
The Nation's First Nonprofit Green Bank



March 13, 2024

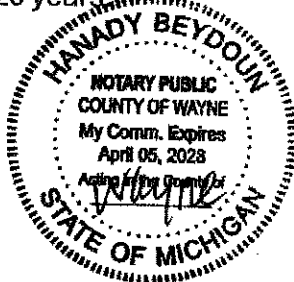
To whom it may concern:

As part of the development of the building located at 718 W Fourth Street, in the city of Royal Oak, twenty percent of the apartment units will be rented out at rates that qualify as Affordable Housing by the United States Department of Housing and Urban Development for a minimum of 20 years.

Thank you,



Dr. Mahir Elder

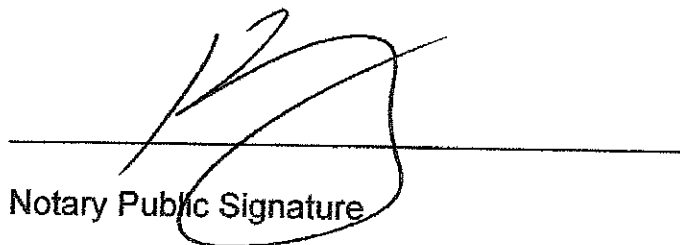


NOTARY ACKNOWLEDGMENT

THE STATE OF MICHIGAN

COUNTY OF Wayne

Acknowledged before me in Wayne County, Michigan, on March 13, 2024 by Dr. Mahir Elder



Notary Public Signature

Hanady Beydoun

My commission expires: April 5, 2028

Acting in the County of Wayne

ZONING ORDINANCE TEXT AMENDMENT (ZOTA) PROTEST PETITION

This petition form was drafted by concerned citizens of Royal Oak utilizing the form the city of Troy, Michigan provides its residents, as the city of Royal Oak does not provide one for its own residents.

What is a valid ZOTA Protest Petition?

According to city of Royal Oak zoning ordinance 770-132: Upon presentation of a protest petition meeting the requirements of this section, an amendment to the official Zoning Map which is the object of the petition shall be passed only by two-thirds vote of the City Commission. The protest petition shall be presented to the City Commission prior to final action on the amendment and shall be signed by one of the following:

- A. The owners of at least 20% of the area of land included in the proposed amendment. Publicly owned land shall be excluded in calculating the twenty percent land area.
- B. The owners of at least 20% of the area of land include within the area extending outward 100 feet from any point of the boundary of the land included in the proposed change. Publicly owned land shall be excluded in the calculating the twenty percent land area requirement.

The date for the Royal Oak City Commission to vote on this action has yet to be determined

Attach signatures to this document on the form provided. The signature form may be duplicated if necessary.

Received By
APR 10 2023
City Clerk's Office

SIGNATURE FORM

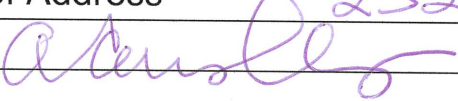
ZOTA Protest Petition for Royal Oak site plan SP 23-01-02:

DESCRIPTION: Dwelling at 718 W. 4th St (parcel no. 25-21-207-015)

We, the undersigned property owners, hereby **protest** the proposed Zoning Ordinance that would result in: Conditional Rezoning from One-Family Residential Overlay District to Multiple-Family Residential & Site Plan (SP 23-01-02) to convert two-story building formerly occupied by 89-bed convalescent center into 25 multiple-family dwellings at 718 W. 4th St (parcel no. 25-21-207-015)

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- For the last ten years, the parcel owner has not presented any proposals to allow for a reasonable return on his investment utilizing principal permitted or special land use.

Print Name (clearly)	ANDREA CAROLLO
Address	611 W 4 th ST, ROYAL OAK, MI 48067
Parcel # of Address	2521211003
Signature	 Date 2/24/2023
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	Date
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	Date
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	Date

SIGNATURE FORM


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Print Name (clearly)	Steven J. Schwartz
Address	803 W. 4th St.
Parcel # of Address	72-25-21-210-009
Signature	 Date 3-6-23
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	

SIGNATURE FORM


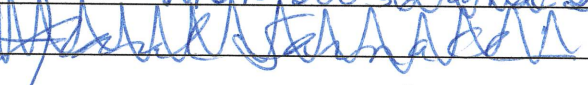
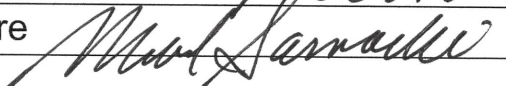
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Print Name (clearly)	FRANK A. BOWDOEN III		
Address	723 W. FOURTH ST		
Parcel # of Address	723 W. 2521210011		
Signature		Date	03/25/2023
Print Name (clearly)	DEAN A. SARNACKI TRUST		
Address	802 W. 4TH STREET		
Parcel # of Address	723 W. 2521210011		
Signature		Date	3/1/2023
Print Name (clearly)	MICHAEL SARNACKI LIVING TRUST		
Address	802 W. 4TH STREET		
Parcel # of Address	723 W. 2521206013		
Signature		Date	3.1.23
Print Name (clearly)			
Address			
Parcel # of Address			
Signature		Date	

SIGNATURE FORM

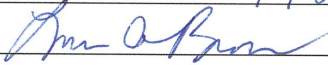

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Print Name (clearly)	LISA BREUER - PRESIDENT, ROYAL OAK WOMAN'S CLUB
Address	404 S. PLEASANT ST. ROYAL OAK, MI 48067
Parcel # of Address	9900003041
Signature	 Date 03/02/2023
Print Name (clearly)	LISA BREUER - PRESIDENT, ROYAL OAK WOMAN'S CLUB
Address	404 S. PLEASANT ST. ROYAL OAK, MI 48067
Parcel # of Address	2521210014
Signature	 Date 03/02/2023
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	Date
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	Date

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Print Name (clearly)	<u>Jeanne Sarnack</u>
Address	<u>802 W 4th St, Royal Oak, MI 48067</u>
Parcel # of Address	
Signature	<u>[Signature]</u> <u>2/15/23</u>
Print Name (clearly)	<u>HENRY W DRIESNER</u>
Address	<u>718 W FOURTH ST.</u>
Parcel # of Address	<u>252120012 25212043</u>
Signature	<u>Henry Driesner</u> <u>2/15/23</u>
Print Name (clearly)	<u>DOUGLAS LAFERIE FOR LAFERIE REALTY LLC</u>
Address	<u>715 W. FOURTH ST.</u>
Parcel # of Address	<u>252120013</u>
Signature	<u>Douglas Laferie</u> <u>2/15/23</u>
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	

SIGNATURE FORM

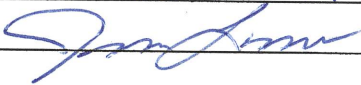

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Print Name (clearly)	Charlene H. Pike Trust
Address	325 S. Maple Ave Royal Oak, MI 48067-2426
Parcel # of Address	72-25-21-207-006
Signature	Charlene H. Pike For the Charlene H. Pike Trust
Date	3-2-2023
Print Name (clearly)	JAMES LAMA
Address	313 S. Maple
Parcel # of Address	72-25-21-207-004
Signature	
Date	3-4-2023
Print Name (clearly)	Rebecca Lama
Address	313 S. Maple Ave Royal Oak 48067
Parcel # of Address	72-25-21-207-004
Signature	
Date	3/4/2023
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	
Date	

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Print Name (clearly) <i>Franklin E. Hull</i>	
Address <i>809 West Fourth St, Royal Oak, MI 48067</i>	
Parcel # of Address <i>72-25-21-210-1008</i>	
Signature <i>Franklin E. Hull</i>	Date <i>3-5-2023</i>
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	Date
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	Date
Print Name (clearly)	
Address	
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Print Name (clearly): Suzanne Labadie	Suzanne Labadie
Address: 812 W. 4th street	812 W. 4th St.
Parcel # of Address 25-21-206-012	25-21-206-012
Signature 	Date 2.22.23 2.22.23
Print Name (clearly) Lara Cenovski	Lara Cenovski
Address 324 S Pleasant St	48067
Parcel # of Address 2521207012	2521207012
Signature 	Date 2.24.23
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	Date
Print Name (clearly)	
Address	

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Print Name (clearly)	Dora Baltusaitis
Address	320 S. Pleasant St.
Parcel # of Address	
Signature	Date 2-19-23
Print Name (clearly)	SCOTT LUPLOW
Address	316 S. PLEASANT ST.
Parcel # of Address	2521207010
Signature	Date 2-19-23
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	Date
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	Date

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Print Name (clearly)	Charles F. Hughes, Debra L. Upton-Hughes		
Address	414 S Maple Ave, Royal Oak MI 48067		
Parcel # of Address	72-25-21-210-017; 414 S Maple Ave, Royal Oak		
Signature	Charles F. Hughes	Date	2/19/23
	Debra L. Upton-Hughes		2/19/23
Print Name (clearly)			
Address			
Parcel # of Address			
Signature		Date	
Print Name (clearly)			
Address			
Parcel # of Address			
Signature		Date	
Print Name (clearly)			
Address			

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Print Name (clearly)	Franklin E. Hull, MD
Address	809 W Fourth St, Royal Oak, MI 48067
Parcel # of Address	25-21-210-008
Signature	Franklin E. Hull, MD Date 2-17-23
Print Name (clearly)	ERIC L. Ellis
Address	621 W 4th St
Parcel # of Address	2522129909 2522121001
Signature	Eric L Ellis Date 2-24-23
Print Name (clearly)	Matt George
Address	614 W. 4th Street
Parcel # of Address	25220814
Signature	Matt George Date 2.24.23
Print Name (clearly)	
Address	

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Print Name (clearly) <i>Ryan White</i>	
Address <i>317 S. Maple Ave Royal Oak MI 48067-2426</i>	
Parcel # of Address <i>72-25-21-207-005</i>	
Signature <i>[Signature]</i>	Date <i>3-7-23</i>
Print Name (clearly) <i>Marisa White</i>	
Address <i>317 S. Maple Ave Royal Oak MI 48067-2426</i>	
Parcel # of Address <i>72-25-21-207-005</i>	
Signature <i>[Signature]</i>	Date <i>3-7-23</i>
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	Date
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	Date

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ZOTA Protest Petition for Royal Oak site plan SP 23-01-02:

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We, the undersigned property owners, hereby protest the proposed Zoning Ordinance that would result in: Conditional Rezoning from One-Family Residential Overlay District to Multiple-Family Residential & Site Plan (SP 23-01-02) to convert two-story building formerly occupied by 89-bed convalescent center into 25 multiple-family dwellings at 718 W. 4th St (parcel no. 25-21-207-015)

Statement of Opposition This does not meet the criteria the City Commission has established and consider appropriate in the recommendation of this proposal:

- This is in the middle of a neighborhood zoned single-family. This is not a transitional zone
- This fits the definition of isolated spot zoning which is illegal in Michigan.
- There is no trend; flats and small apartment buildings have existed for decades in this overlay district, and with many current vacancies
- Objective 1.1 of our master plan: Preserve, maintain, and enhance the character of existing neighborhoods. We believe this sizable addition of so many apartments is not in character with the existing neighborhood. We believe other adaptive reuses of this building are feasible.
- For the last ten years, the parcel owner has not presented any proposals to allow for a reasonable return on his investment utilizing principal permitted or special land use.

Print Name (clearly) Robert Mihalick	
Address 325 S. Pleasant	
Parcel # of Address 72-25-21-208-006	
Signature Rob Mihalick	Date 2/19/23
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	Date
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	Date
Print Name (clearly)	
Address	
Parcel # of Address	
Signature	Date

SIGNATURE FORM

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Print Name (clearly)	Dora A. Baltrusaitis Trust		
Address	320 S. Pleasant ST.		
Parcel # of Address	72-25-21-207-011		
Signature	Dora A. Baltrusaitis Trust	Date	3/6/23
Print Name (clearly)			
Address			
Parcel # of Address			
Signature		Date	
Print Name (clearly)			
Address			
Parcel # of Address			
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Print Name (clearly)			
Address			
Parcel # of Address			
Signature		Date	

APR 24 2023

Petition for Alternative Housing Options at 718 W. Fourth St., Royal Oak

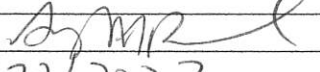

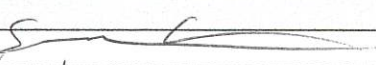
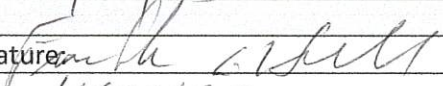
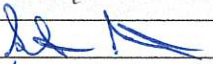
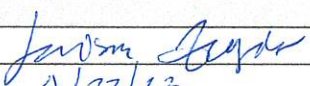
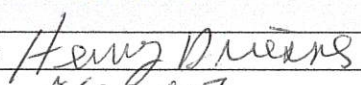
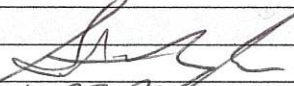
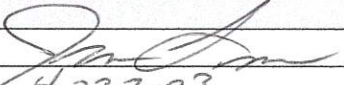
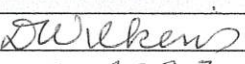
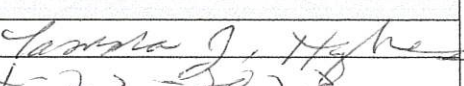
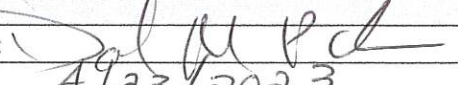
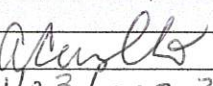
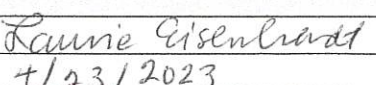
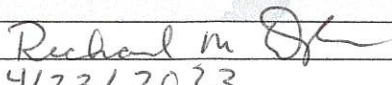
City Clerk's Office

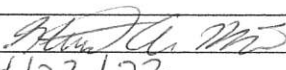
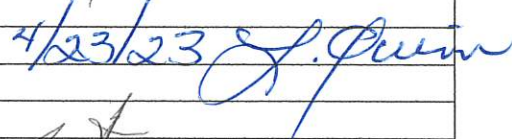
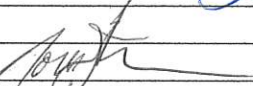


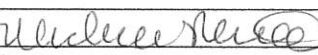
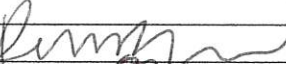
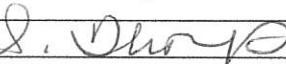
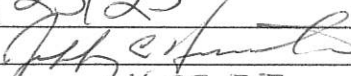
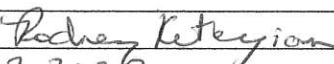
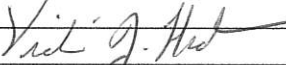
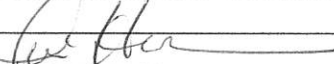
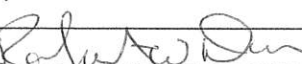
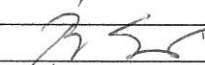
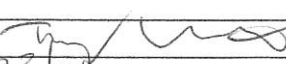
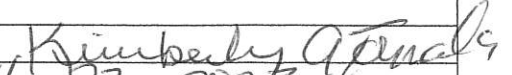
We the signers of this petition oppose the current conditional rezoning proposal for the property at 718 W. Fourth St. (formerly the Alexander Nursing Home), which includes conversion of the building into 25 apartments with insufficient parking.

In place of the proposed high-density 25-unit dwelling, we would welcome other, less dense housing options that would better blend with the beauty of our surrounding neighborhood, such as multiple condos, townhomes or single-family homes (some examples shown below).



1.	Printed Name: Dora Baltusaitis Street Address: 320 S. Pleasant	Signature: Dora Baltusaitis Date: 4-22-23
2.	Printed Name: Charlene Pike Street Address: 325 S. Maple Ave	Signature: Charlene Pike Date: 4-22-23
3.	Printed Name: Ryan White Street Address: 317 S. Maple Ave	Signature: Ryan White Date: 4/22/23
4.	Printed Name: MARK NAVIN Street Address: 309 S MAPLE AVE	Signature: Mark Navin Date: 4/22/23
5.	Printed Name: PAULA Bedogne Street Address: 212 S Maple Ave	Signature: Paula Bedogne Date: 4/22/23

6.	Printed Name: Amy Barnard Street Address: 211 S Maple Ave	Signature:  Date: 4/22/2023
7.	Printed Name: Suzanne Labadie Street Address: 812 W. 4th St.	Signature:  Date: 4.22.23
8.	Printed Name: Solomon Khen Street Address: 815 W. 4th St	Signature:  Date: 4/22/23
9	Printed Name: Franklin Hull Street Address: 809 W 4th	Signature:  Date: 4/22/23
10.	Printed Name: Steven Schwartz Street Address: 803 W 4th St	Signature:  Date: 4/22/2023
11.	Printed Name: Larissa Zuyus Street Address: 803 W. 4th St.	Signature:  Date: 4/22/23
12.	Printed Name: HENRY DRIE SIEEL. Street Address: 719 W FOURTH.	Signature:  Date: 4/22/23
13.	Printed Name: ERIC Ellis Street Address: 621 W FOURTH	Signature: Date:
14.	Printed Name: SCOTT LUPLOW Street Address: 316 S PLEASANT ST	Signature:  Date: 4-23-23
15.	Printed Name: James Lamm Street Address: 313 S. Maple	Signature:  Date: 4-23-2023
16.	Printed Name: Dolores Wilkins Street Address: 308 S. Maple Ave	Signature:  Date: 4-23-2023
17.	Printed Name: TAMARA HOGHES Street Address: 119 S. PLEASANT ST	Signature:  Date: 4-23-2023
18.	Printed Name: DAVID PARDO Street Address: 325 S. LAUREL R.O.	Signature:  Date: 4/23/2023
19.	Printed Name: ANDREA CAROLLO Street Address: 611 W. 4th ST	Signature:  Date: 4/23/2023
20.	Printed Name: Laurie Eisenhardt Street Address: 413 S. Pleasant St.	Signature:  Date: 4/23/2023
21.	Printed Name: Richard Doyle Street Address: 413 S. PLEASANT ST	Signature:  Date: 4/23/2023

22.	Printed Name: Stuart Biers Street Address: 312 Oakdale St Royal Oak MI 48067	Signature:  Date: 4/23/23
23.	Printed Name: LAURA QUINN Street Address: 210 OAKDALE	Signature:  Date: 4/23/23
24.	Printed Name: NARM JOHNSON Street Address: 204 OAKDALE	Signature:  Date: 4/23/23
25.	Printed Name: Scott Zwala Street Address: 203 Oakdale	Signature:  Date: 4/23/23
26.	Printed Name: Scott Mester Street Address: 302 S. PLEASANT	Signature:  Date: 4/23/23
27.	Printed Name: Michele Mester Street Address: 302 S. Pleasant St	Signature:  Date: 4-23-23
28.	Printed Name: Renee Papad Street Address: 520 W 4th	Signature:  Date: 4-23-23
29.	Printed Name: Sawyer Thorp Street Address: 502 W. 4th St. RO, MI 48067	Signature:  Date: 4/23/23
30.	Printed Name: JEFFREY HUNSICKER Street Address: 419 S. LAUREL RO, MI 48067	Signature:  Date: 4-23-23
31.	Printed Name: RODNEY KETEYIAN Street Address: 507 S. Laurel St	Signature:  Date: 4-23-2023
32.	Printed Name: Vicki Hickman Street Address: 717 S. LAUREL	Signature:  Date: 4/23/23
33.	Printed Name: Tim Hickman Street Address: 717 S. LAUREL	Signature:  Date: 4/23/2023
34.	Printed Name: ROBERT DAVIS Street Address: 506 S. Laurel St	Signature:  Date: 4/23/2023
35.	Printed Name: Robert M. Smith Street Address: 511 S. Laurel	Signature:  Date: 4/23/23
36.	Printed Name: Tray Vanneste Street Address: 523 S. Laurel St	Signature:  Date: 4/23/2023
37.	Printed Name: Kim TOMALA Street Address: 527 S. PLEASANT ST	Signature:  Date: 4-23-2023

38.	Printed Name: DENNIS FARCHILD	Signature: Dennis Farchild
	Street Address: 719 S PLEASANT	Date: 4/23/23
39.	Printed Name: Katherine Pepp	Signature: [Signature]
	Street Address: 733 S. Pleasant	Date: 4/23/23
40.	Printed Name: John Schauder	Signature: [Signature]
	Street Address: 736 S. Pleasant	Date: 4/23/23
41.	Printed Name: W. Reppenhagen	Signature: [Signature]
	Street Address: 728 S. Pleasant St.	Date: 4/23/23
42.	Printed Name: Arthur Versace	Signature: Arthur Versace
	Street Address: 702 S. Pleasant	Date: 4-23-2023
43.	Printed Name: Gary Briggs	Signature: [Signature]
	Street Address: 602 S. Pleasant	Date: 4-23-23
44.	Printed Name: Jeanne Sarnacki	Signature: [Signature]
	Street Address: 802 W 4th, RO 4806	Date: 4.23.23
45.	Printed Name: MICHAEL SARNACKI	Signature: [Signature]
	Street Address: 802 W. 4TH RO 4806	Date: 4/23/23
46.	Printed Name: SANDRA LEE WILKINS	Signature: Sandra J. Wilkins
	Street Address: 312 S. MAPLE AVE	Date: 4-23-23
47.	Printed Name: Rebecca Nord	Signature: [Signature]
	Street Address: 313 S. Maple Ave.	Date: 4/23/23
48.	Printed Name:	Signature:
	Street Address:	Date:
49.	Printed Name:	Signature:
	Street Address:	Date:
50.	Printed Name:	Signature:
	Street Address:	Date:
51.	Printed Name:	Signature:
	Street Address:	Date:
52.	Printed Name:	Signature:
	Street Address:	Date:
53.	Printed Name:	Signature:
	Street Address:	Date:

Petition for Alternative Housing Options at 718 W. Fourth St., Royal Oak

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In place of the proposed high-density 25-unit dwelling, we would welcome other, less dense housing options that would better blend with the beauty of our surrounding neighborhood, such as multiple condos, townhomes or single-family homes (some examples shown below).



1.	Printed Name: MARJORIE A. BLAUVELT Street Address: 201 S. MAPLE, ROYAL OAK 48067	Signature: <i>Marjorie A. Blauvelt</i> Date: 04/22/2023
2.	Printed Name: RICHARD A. BLAUVELT Street Address: 201 S. MAPLE AVE, ROYAL OAK 48067	Signature: <i>[Signature]</i> Date: 04/22/23
3.	Printed Name: Street Address:	Signature: Date:
4.	Printed Name: Street Address:	Signature: Date:
5.	Printed Name: Street Address:	Signature: Date:

CITY COMMISSION AGENDA ITEM

TITLE	Consideration of Ordinance to Rezone 3915 Crooks Road to Planned Unit Development – First Reading
SUBMITTING DEPARTMENT	Community Development - Planning
PRESENTER	Tim Thwing or Joseph Murphy
MEETING DATE	April 8, 2024
SECOND READING REQUIRED	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

EXECUTIVE SUMMARY *(include history of previous Commission action/discussion, background, scope of work, etc.):*

An application to rezone 3915 Crooks Road from “Multiple-Family Residential” to “Planned Unit Development” (PUD) was reviewed by the Planning Commission at their regular meeting of December 12, 2023. If approved by the City Commission, the application would allow construction of a multiple-family building with three-and-a-half stores and 30 multiple-family dwellings. Rezoning of any property to PUD is governed by [Article VIII of the Zoning Ordinance](#) (§§ 770-98 to 770-103). A development agreement approved by the City Commission is required for all PUD projects.

The City Charter provides that an amendment to the city’s Zoning Map cannot be approved upon introduction but must receive a second reading. [Michigan’s Zoning Enabling Act \(Public Act 110 of 2006, as amended\)](#) does not require that the City Commission conduct another public hearing on a rezoning application, although it may do so if desired. The following options are available:

- Adopt the Zoning Map amendment and final PUD site plan upon introduction, with or without modification, and direct staff to prepare the amendment for final disposition;
- Adopt the Zoning Map amendment and final PUD site plan upon introduction, with or without modification, and schedule a public hearing prior to final disposition;
- Refer the Zoning Map amendment and final PUD site plan back to staff and/or the Planning Commission for additional information or study identifying specific areas of concern; or
- Reject the Zoning Map amendment and final PUD site plan (no further action would be required).

FISCAL IMPACT

BUDGET SUMMARY	
EXPENDITURE REQUIRED	\$0.00
AMOUNT CURRENTLY BUDGETED	\$0.00
BUDGET AMENDMENT REQUIRED	\$0.00
FUNDING SOURCE/ GL NUMBER	N/A
WAS THIS A BUDGETED EXPENSE?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

OTHER FISCAL IMPACTS: (Select all that apply.)

☒ No fiscal impact

☐ Workload Impact (details below)

☐ Revenue Impact (details below)

☐ Operations Impact (details below)

REVENUE IMPACT: *Provide a description of how this item will impact revenue. (Is this item expected to create additional/new revenue? Will this item have a negative impact on revenue? Which funds would be impacted? Provide additional details, as necessary.)*

N/A

WORKLOAD IMPACT: *If this item will require staff time to implement, operate or maintain, provide a description of the workload impact. (Will more staff be needed? Is this workload able to be absorbed by existing staff? If new FTE(s) are needed, provide details of position classification and duties. Provide additional details, as necessary.)*

N/A

OPERATIONS IMPACT: *If the item requires a budget adjustment, please identify source of additional funds and any proposed cuts to other operations, programs and services.*

N/A

ALIGNMENT WITH COMMISSION APPROVED PLANS, POLICIES, AND PROGRAMS

Provide a description of how this item aligns with the strategic plan, aging in place plan, and sustainability and climate action plans. Include any specific goals or action steps it supports.

The Planning Commission reviewed the item for consistency with the City's [Master Plan](#), including its goals and objectives as well as its [future land use map](#).

COMMUNITY ENGAGEMENT

Provide a description of any community engagement efforts made for this item. Include information on tools used, participation information, and general sentiments.

At their regular meeting of December 12, 2023, the Planning Commission conducted a public hearing on the rezoning of the property to PUD and its associated site plan. Notice of the public hearing was published in The Daily Tribune in accordance with state law. Notices were also mailed to property owners and residents within 300 feet of the subject site, also as required by state law. No written comments were submitted for the public hearing. No members of the public commented on the item at the public hearing.

BOARD AND COMMISSION FEEDBACK

Was an advisory board or commission engaged in discussion on this item? If yes, please provide a summary of feedback received:

At their December 12, 2023, regular meeting the Planning Commission recommended that the property be rezoned from "Multiple-Family Residential" to PUD, and that the associated final PUD site plan be approved with contingencies. The final PUD site plan as recommended for approval by the Planning Commission and their memorandum of action are attached. Staff reports to the Planning Commission and correspondence from the petitioner are also attached. Comments from

commissioners and the petitioner can be heard in the video of the meeting available on the [WROK YouTube channel](#).

The Planning Commission recommended various deviations to required Zoning Ordinance standards as part of the proposed PUD [subparagraphs (3)(a) through (g) of their site plan recommendation]. Those deviations are summarized in the following table:

Zoning Ordinance Section	Standard	Minimum Required / Maximum Permitted	Proposed
§ 770-30	Primary Entrance on Front Façade	Readily identifiable and accessible primary entrance facing street	Door to stairwell on east front façade with canopy of metal panels
§ 770-30 B (4)(a)	Height-to-Width Ratio	1-to-3	1-to-4
§ 770-37 D (3)(a)	Minimum Lot Size	93,000 sq. ft.	20,734 sq. ft.
	Maximum Density	5 dwellings	30 dwellings
§ 770-37 D (3)(b)	Maximum Building Height	36 ft.	39 ft. 2 ½ in.
§ 770-37 D (3)(c)	Minimum West Rear Yard Setback	25 ft.	13 ft. 10 in.
	Minimum South Side Yard Setback		12 ft.
§ 770-90 E (1)	Interior Parking Land Landscaping	4 trees within curbed islands	3 trees next to one parking space
§ 770-90 K (4)	Number of Replacement Trees	20 trees	7 trees
		49 in. total d.b.h.	21 in. total d.b.h.
§ 770-107	Minimum Number of Off-Street Parking Spaces	60 spaces	34 spaces

Items specified in the petitioner's correspondence to the Planning Commission (attached) are being offered voluntarily in response to the City Commission's [community benefits guidelines](#). These benefits would need to be incorporated into the development agreement required as part of a second reading to rezone the property and approve the final PUD site plan.

LEGAL COMMENTS

PROPOSED COMMISSION RESOLUTION:

Whereas the Royal Oak Planning Commission held a public hearing on December 12, 2023, and recommends approval of an amendment to the Zoning Map for the purpose of rezoning 3915 Crooks Road (parcel number 25-05-428-019) from "Multiple-Family Residential" to "Planned Unit Development," along with approval of a final planned unit development site plan (SP 23-12-19) to construct a multiple-family building with three-and-a-half stores and 30 multiple-family dwellings at 3915 Crooks Road (parcel number 25-05-428-019); and

Whereas the Royal Oak City Commission has determined that the planned unit development will result in a recognizable and material benefit to the residents of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved without application of the planned unit development regulations; and

Whereas the City Commission has determined that the proposed multiple-family dwellings will not result in an unreasonable increase in the need for or burden upon public services, facilities, streets, and utilities; and

Whereas the City Commission has determined that the proposed development will be consistent with the public health, safety, and welfare of the city, and will not result in an unreasonable negative economic impact upon surrounding properties; and

Whereas the City Commission has determined that the proposed development is under single ownership and/or control such that there is a single entity having responsibility for completing the project in conformity with the Zoning Ordinance; and

Whereas the City Commission has determined that the Zoning Map amendment to “Planned Unit Development” and associated final planned unit development site plan are consistent with the goals and objectives of the city’s Master Plan and received the record of public comments taken at the public hearing held at the Planning Commission meeting of December 12, 2023.

Therefore, be it resolved, that Ordinance 2024-##, entitled an ordinance to amend the Zoning Map of the City of Royal Oak is hereby adopted on first reading.

The City of Royal Oak ordains:

Section 1 Ordinance. Pursuant to the provisions of the [Michigan Zoning Enabling Act, Public Act 110 of 2006, as amended](#), and pursuant to all applicable provisions of law, the Zoning Map of the City of Royal Oak is hereby amended to rezone 3915 Crooks Road (parcel number 25-22-153-026) from “Multiple-Family Residential” to “Planned Unit Development,” and the final planned unit development site plan (SP 23-12-19) to construct a multiple-family building with three-and-a-half stores and 30 multiple-family dwellings at 3915 Crooks Road (parcel number 25-22-153-026), is hereby approved, subject to the associated “development agreement.”

Section 2 Severability. If any section, subsection, clause, phrase, or portion of this ordinance is for any reason held invalid or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent portion of this ordinance, and such holding shall not affect the validity of the remaining portions of this ordinance.

Section 3 Savings. As proceedings pending and all rights and liabilities existing, acquired or incurred at the time this ordinance takes effect are saved and may be consummated according to the law in force when they are commenced.

Section 4 Repeal. All ordinance or parts of ordinances in conflict herewith are hereby repealed only to the extent necessary to give this ordinance full force and effect.

Section 5 Effective Date. A summary of this ordinance shall be published in a newspaper of general circulation in the City of Royal Oak and shall become effective ten (10) days after publication, as provided by law.

Be it further resolved the City Commission directs staff to prepare a development agreement required under Article VIII of the Zoning Ordinance for consideration by the City Commission as part of the required second reading of Ordinance 2024-## that incorporates the community benefits voluntarily offered by the petitioner in their project narrative.

FUND IMPACTED:	
APPROPRIATIONS:	INCREASE (DECREASE)
<i>N/A</i>	\$0.00
TOTAL APPROPRIATIONS	\$0.00
NET INCREASE (DECREASE) TO FUND BALANCE	\$0.00

ATTACHMENTS:

- 1 – Final PUD Site Plan as Recommended by Planning Commission**
- 2 – Planning Commission Memo of Action**
- 3 – Staff Report to Planning Commission**
- 4 – Correspondence from Petitioner to Planning Commission**

PROPOSED PROJECT :

AMBER LANDING STUDIOS AND LOFTS
3951 CROOKS ROAD
ROYAL OAK MI

PROJECT DESCRIPTION:
DEMOLITION OF EXISTING MULTIFAMILY PROJECT
CONSTRUCTION OF NEW 30 UNIT MULTIFAMILY PROJECT

OWNER:

AMBER PROPERTIES COMPANY
380 NORTH CROOKS RD
CLAWSON, MI 48017

ARCHITECT

Schneider+Smith ARCHITECTS
833 South Center Street
Royal Oak, MI 48067

BUILDING CODE ANALYSIS

MICHIGAN BUILDING CODE 2015
MICHIGAN MECHANICAL CODE 2015
MICHIGAN PLUMBING CODE 2018
NATIONAL ELECTRICAL CODE 2017
W/ PART 8 AMENDMENTS
USE GROUP R-2
BUILDING TYPE VB & IIB

BUILDING AREA

FIRST FLOOR = 3674 SF
2ND FLOOR = 6488.3SF
BALCONIES = 686.3 SF
3RD FLOOR = 6830 SF
MEZZANINE = 1920 SF
ROOF DECK = 1938 SF

SHEET INDEX:

- A-0 COVER SHEET
- S-1 SURVEY
- A-1 ARCHITECTURAL SITE PLAN
- A-2 LANDSCAPE PLAN
- A-3 FIRST &SECOND FLOOR PLAN
- A-4 THIRD FLOOR & MEZZANINE PLAN
- A-5 ELEVATIONS
- A-6 RENDERINGS

SITE ANALYSIS

SITE AREA = 20,734.30 SF
EXISTING ZONING = MULTIFAMILY
PROPOSED ZOINING = PUD
ADJACENT PROPERTY = USE

NORTH	=	MULTIFAMILY	MULTIFAMILY
EAST	=	MULTIFAMILY	MULTIFAMILY
SOUTH	=	MULTIFAMILY	MULTIFAMILY
WEST	=	MULTIFAMILY	MULTIFAMILY

MULTIFAMILY DENSITY = 9000 SF/LOT/ 2units, 3000 SF each additional unit
ALLOWABLE DENSITY = 3100 SF/Unit for 30 units
PROPOSED DENSITY = 691 SF/Unit for 30 units

REQUIRED SETBACKS	PROPOSED SETBACKS
FRONT = 25'	FRONT = 25'-0"
REAR = 25'	REAR = 13'-10"
NORTH SIDE = 25'	NORTH SIDE = 47'-9"
SOUTH SIDE = 25'	SOUTH SIDE = 12'-0"

PARKING REQUIRED

REQUIRED = 2 SPACES PER UNIT/ RESIDENTIAL- 30 UNITS x 2 = 60 SPACES

PARKING PROVIDED= 34 SPACES, 1.13 SPACES PER UNIT

REQUEST VARIANCE FOR 26 SPACES



LOCATION MAP



Schneider + Smith
ARCHITECTS

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Royal Oak MI 48067
ph 248 398 0605
schneidersmith.com

CLIENT

AMBER PROPERTIES COMPANY
380 NORTH CROOKS RD
CLAWSON, MI 48017

PROJECT

AMBER LANDING STUDIOS AND LOFTS
3951 CROOKS ROAD
ROYAL OAK MI

DATE AND ISSUE

10-20-2023 SITE PLAN REVIEW

REVISION

11-16-2023 STAFF PLAN REVIEW

DESCRIPTION

COVER SHEET

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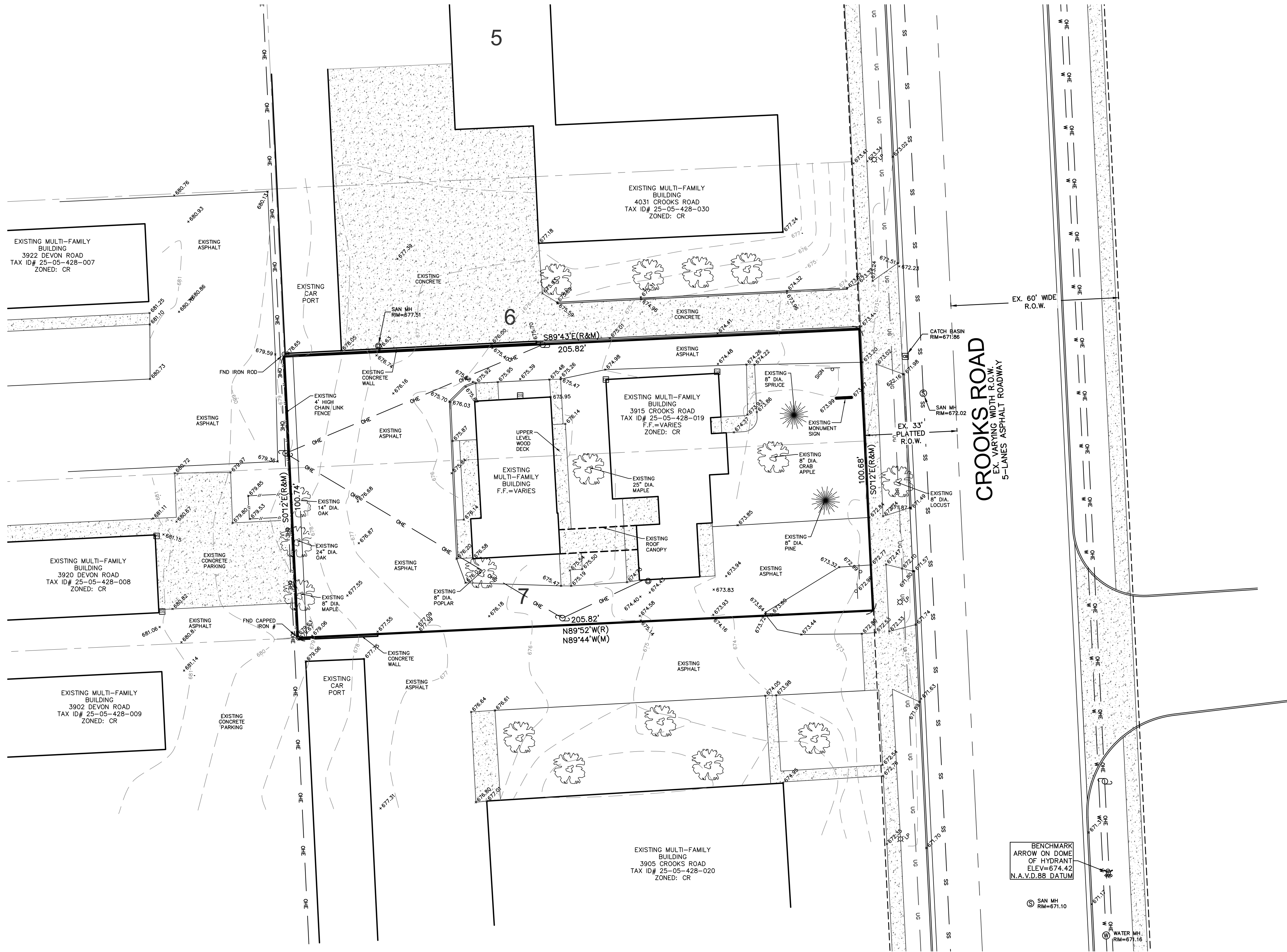
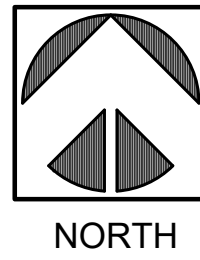
A-0

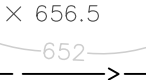

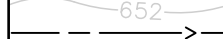











































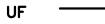



















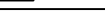

















T1N, R11E, SECTION 5, STARR ACRES SUBDIVISION, SOUTH 40 FEET OF LOT 6 & ALL OF LOT 7

NOTES:

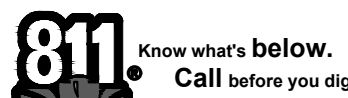
BASIS OF BEARING: BEARINGS WERE SET TO MATCH THE RECORD BEARINGS SHOWN
ON THE STARR ACRES SUBDIVISION LIBER 23 PAGE 15

- (M) FIELD MEASURED BEARINGS AND DISTANCES REQUIRED TO FORCE
PROPER CLOSURE OF DESCRIPTION
- (R) RECORDED BEARINGS AND DISTANCES PER PLAT.



LEGEND							
SYMBOL		DESCRIPTION		SYMBOL		DESCRIPTION	
		EX. SPOT ELEVATION				EX. OVERHEAD CABLE	
		EX. CONTOUR				EX. OVERHEAD FIBER	
		EX. DITCH				EX. OVERHEAD ELECTRIC	
		EX. GRAVEL				EX. UNDERGROUND CABLE	
		EX. WATER MAIN				EX. COMMUNICATION RISER	
		EX. WATER VALVE				EX. COMMUNICATION HANDHOLE	
		EX. WATER SERVICE VALVE				EX. UTILITY POLE	
		EX. HYDRANT				EX. GUY ANCHOR	
		EX. WATER MANHOLE				EX. SIGNAL POLE	
		EX. WATER GV				EX. LIGHT POLE	
		EX. WATER METER				EX. GROUND LIGHT	
		EX. STORM SEWER				EX. DOUBLE LIGHT POLE	
		EX. STORM INLET/CATCH BASIN				EX. SINGLE POLE SIGN	
		EX. STORM MANHOLE				EX. DOUBLE POLE SIGN	
		EX. STORM END SECTION				EX. MAILBOX	
		EX. DOWN SPOUT				EX. FLAGPOLE	
		EX. SANITARY SEWER				EX. SPEAKER	
		EX. SANITARY MANHOLE				EX. UNKNOWN MANHOLE	
		EX. CLEAN OUT				EX. COMBO MANHOLE	
		EX. SANITARY VENT				EX. SECTION LINE	
		EX. UNDERGROUND GAS				EX. PARCELS	
		EX. GAS VALVE				EX. EASEMENT	
		EX. GAS METER				EX. CENTERLINE	
		EX. UNDERGROUND TELEPHONE				EX. WETLAND LIMITS	
		EX. UNDERGROUND FIBER OPTIC				EX. CURB/PAVEMENT	
		EX. TELEPHONE MANHOLE				EX. FENCE	
		EX. TELEPHONE RISER				EX. GUARDRAIL	
		EX. TELEPHONE HANDHOLE				EX. FOUND IRON	
		EX. UNDERGROUND ELECTRIC				EX. FOUND RR SPIKE	
		EX. ELECTRIC MANHOLE				EX. FOUND PK NAIL	
		EX. ELECTRIC RISER				EX. FOUND CONC. MONUMENT	
		EX. ELECTRIC HANDHOLE				EX. SET IRON ROD	
		EX. ELECTRIC TRANSFORMER				EX. SECTION CORNER	
		EX. ELECTRIC METER				EX. POS	
		EX. GENERATOR				EX. BOLLARD	
		EX. ASPHALT				EX. RECORDED BEARING	
		EX. CONCRETE				EX. MEASURED BEARING	
		EX. GRAVEL				EX. TREE	
		EX. TREE LINE				EX. DEMO TREE	
		EX. WATER MARKER					
		EX. GAS MARKER					
		EX. COMM. MARKER					
		EX. TELE. MARKER					
		EX. FIBER MARKER					
		EX. MEDIA MARKER					

UNDERGROUND UTILITY LOCATIONS
AS SHOWN ON THE PLAN, WERE
OBTAINED FROM UTILITY OWNER
AND NOT FIELD LOCATED.



THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

I HEREBY CERTIFY THAT I HAVE LOCATED AND MAPPED THE LAND HEREON PLATTED AND/OR DESCRIBED, ON THE DATE NOTED HEREON, THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF ACT 132, P.A. OF 1970 AND THAT THE ERROR OF CLOSURE OF THE UNADJUSTED FIELD OBSERVATION IS WITHIN THE LIMITS ESTABLISHED FOR THE PROFESSION.

SEAL



REVISIONS

[illegible]

CLIENT: **ORMAN ENGINEERING**
5476 VIVAN LANE
WATERFORD, MICHIGAN 4832

TOPOGRAPHIC & BOUNDARY SURVEY
3915 CROOKS ROAD

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SECTION 5

TOWN 1 NORTH, RANGE 11 EAST

ROYAL OAK

DATE: 9-26-23

Drawn By: XX

P.E.: MD

$$\underline{1'' = 20}$$

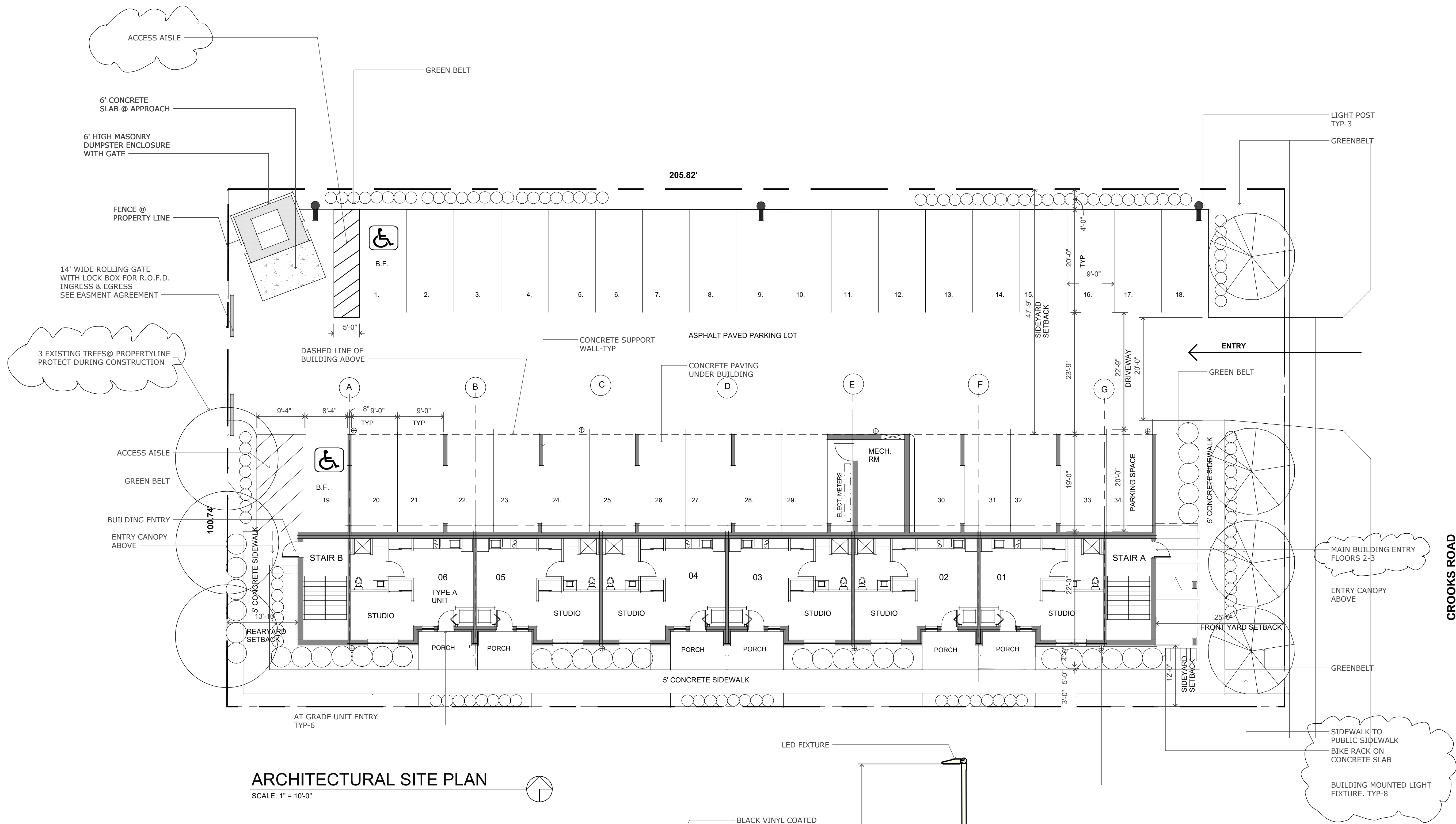
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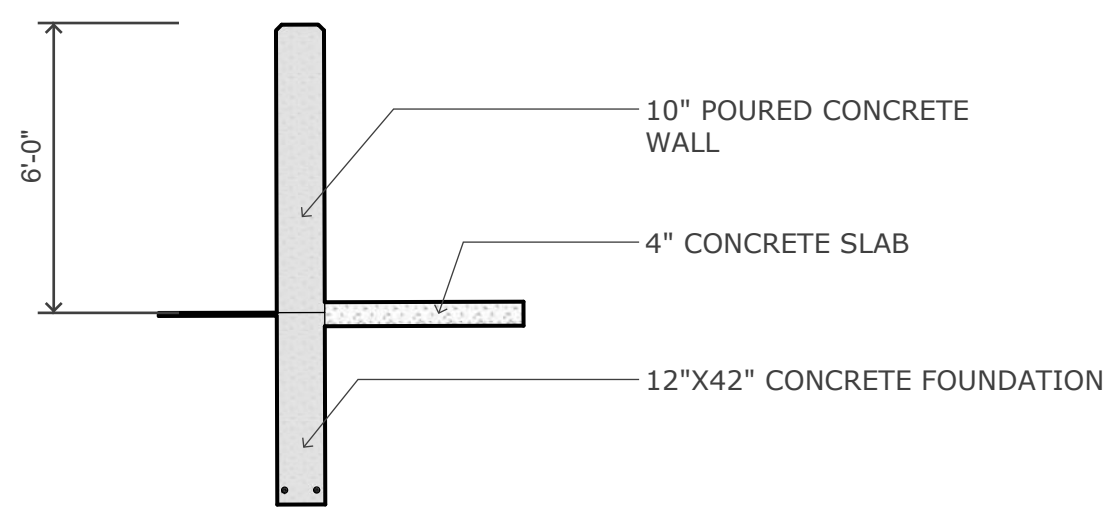
CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

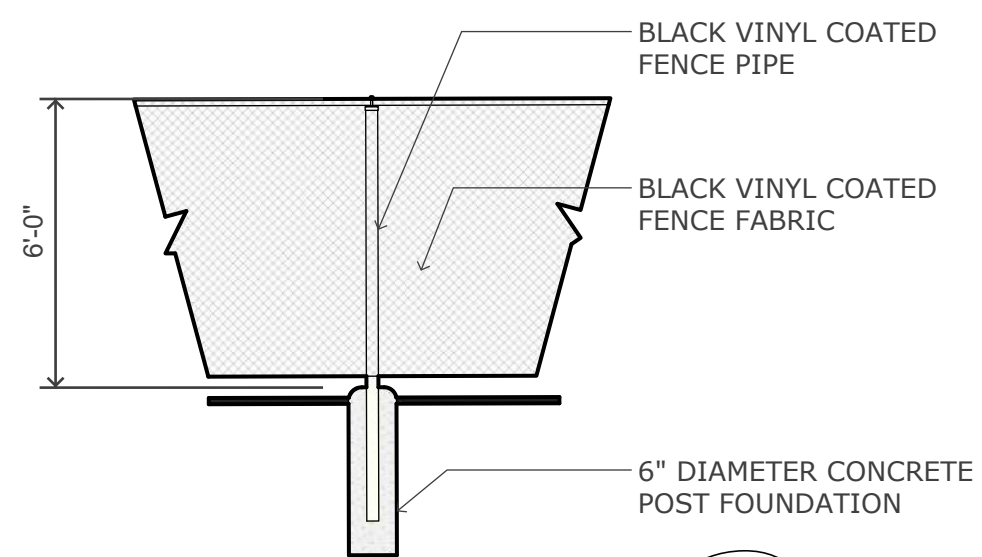
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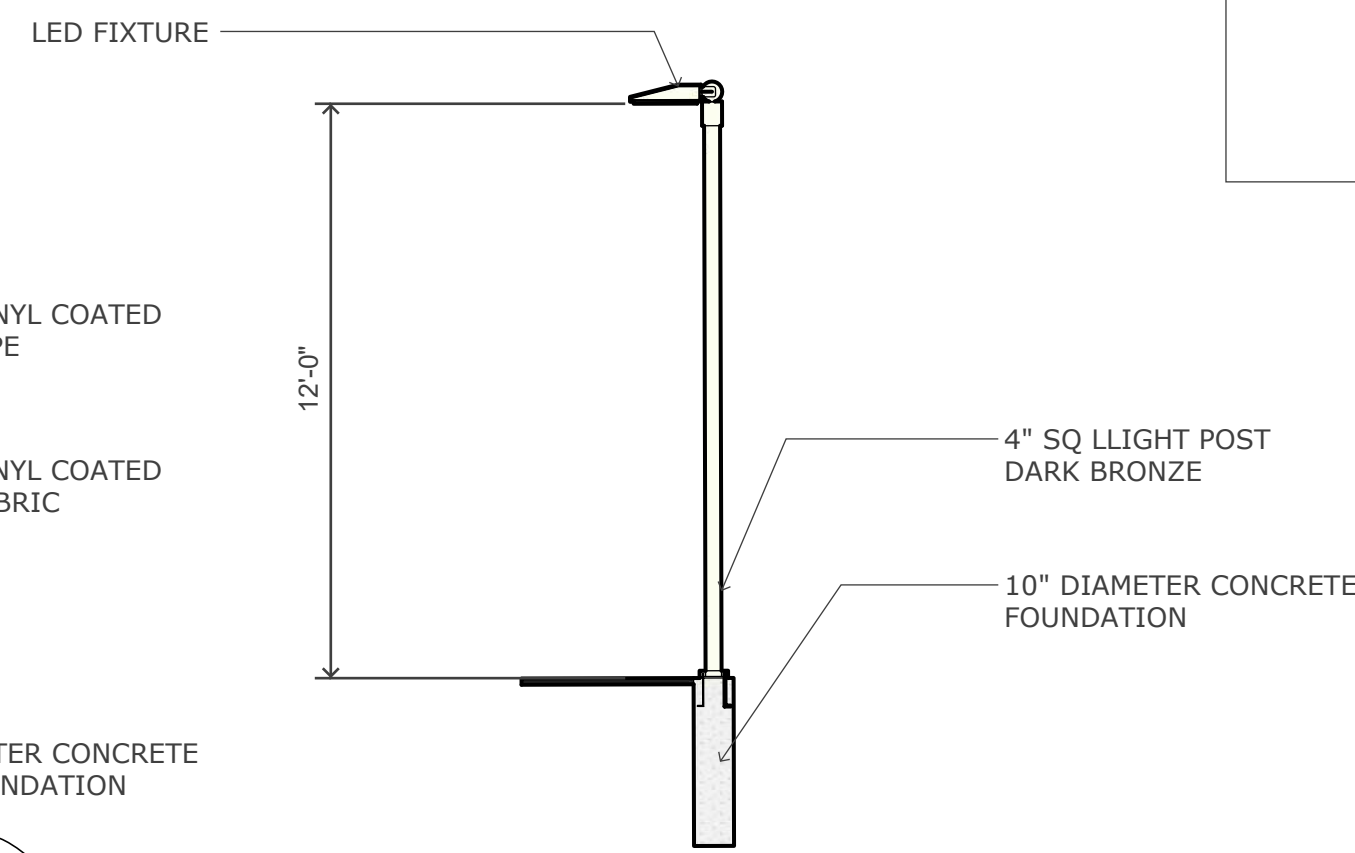
ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"



DUMPSTER ENCLOSURE DETAIL
SCALE: 1" = 10'-0"



FENCE DETAIL
SCALE: 1" = 10'-0"



SITE LIGHT DETAIL
SCALE: 1" = 10'-0"



WEST PROPERTY LINE FENCE EXAMPLE



PARKING LOT LIGHT



BUILDING MOUNTED WALL LIGHT

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Royal Oak MI 48067
ph 248 398 0605
schneidersmith.com

CLIENT

AMBER PROPERTIES COMPANY
380 NORTH CROOKS RD
CLAWSON, MI 48017

PROJECT

AMBER LANDING STUDIOS AND LOFTS
3951 CROOKS ROAD
ROYAL OAK MI

DATE AND ISSUE

10-20-2023 SITE PLAN REVIEW

REVISION

11-16-2023 STAFF PLAN REVIEW

DESCRIPTION

ARCHITECTURAL SITE PLAN

JOB NO:

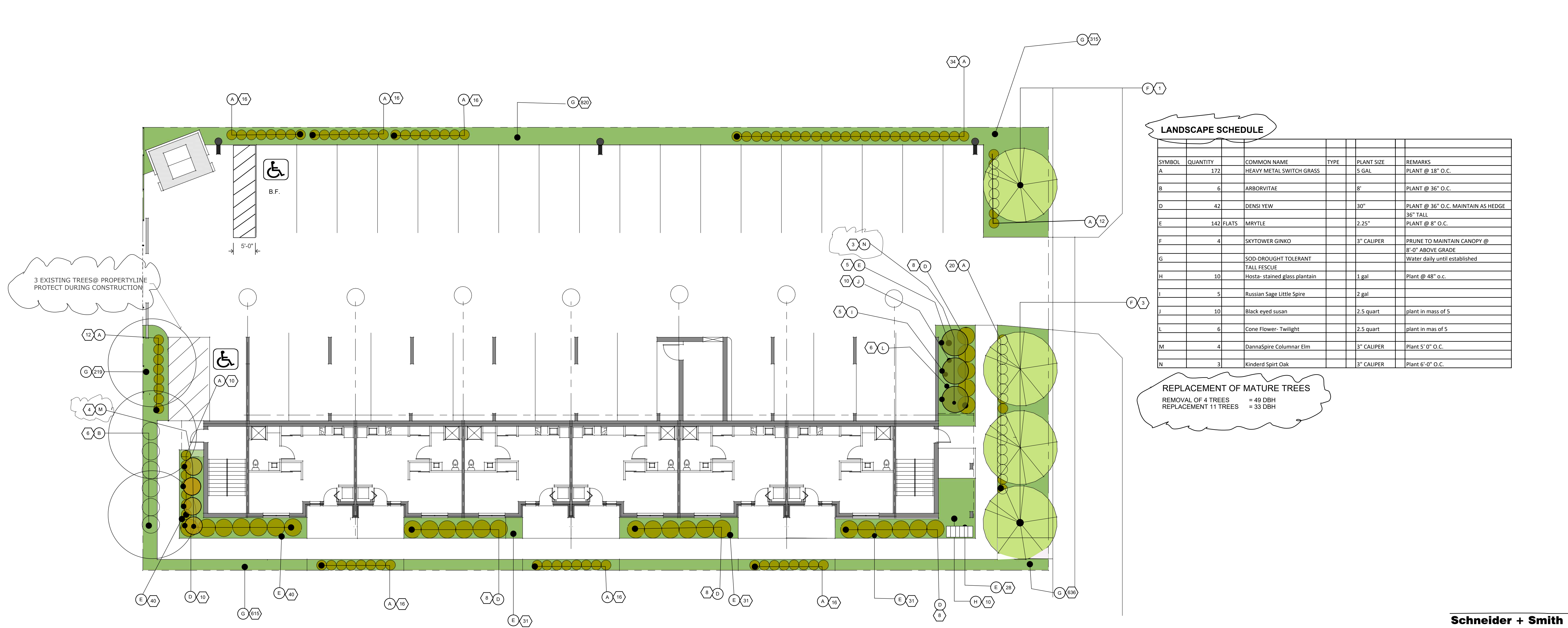
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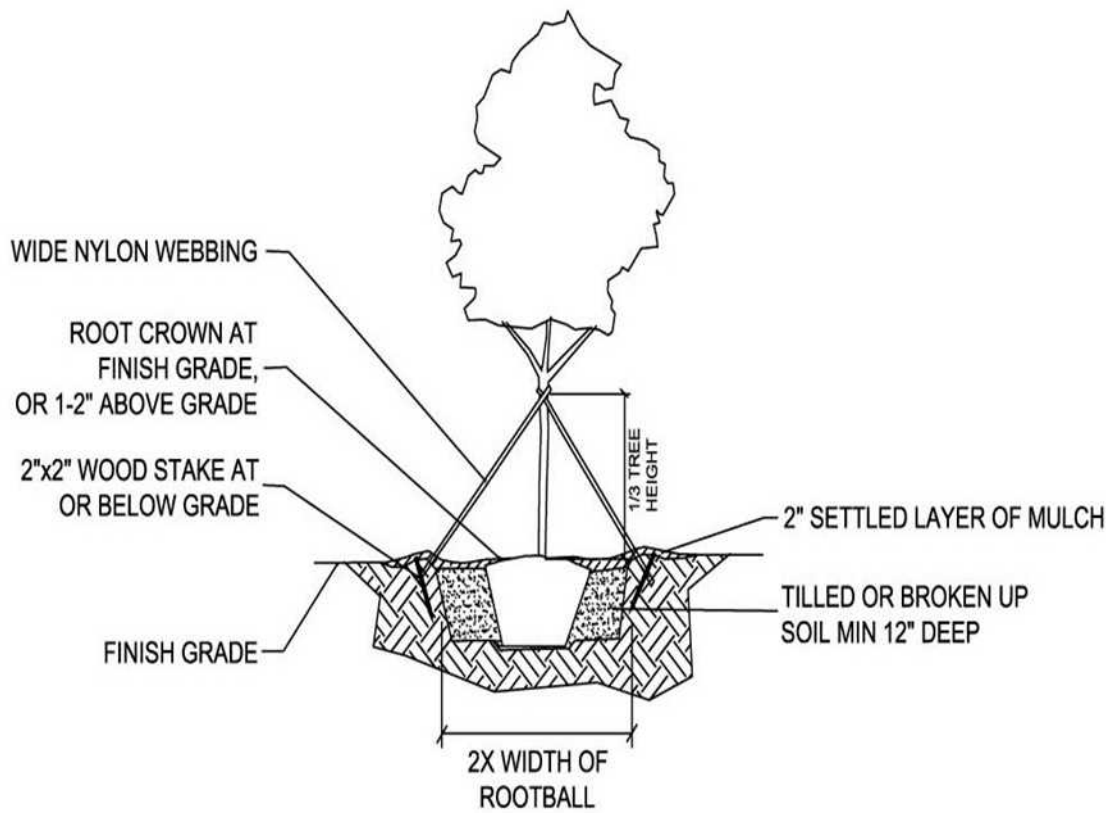
APPROVED BY:

DATE:

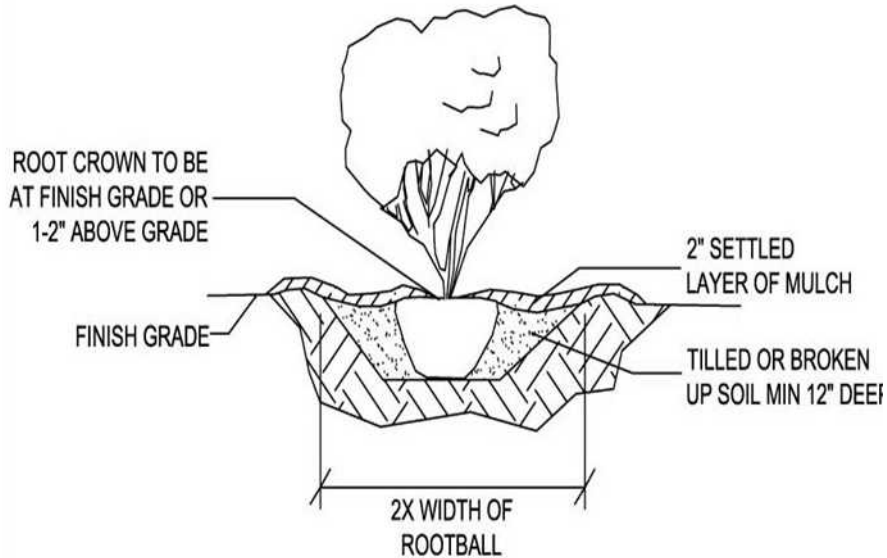
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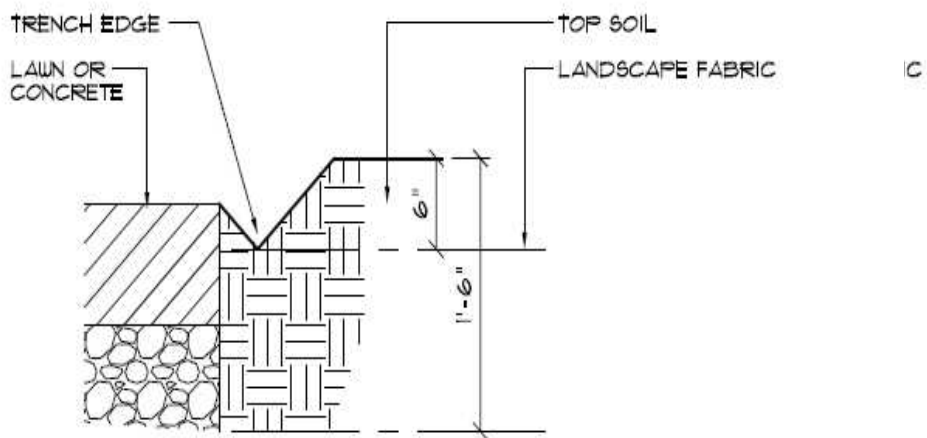
LANDSCAPE PLAN
SCALE: 1" = 10'-0"



TREE PLANTING DETAIL
SCALE: N.T.S.



SHRUB/GRASS PLANTING DETAIL



LANDSCAPE BED EDGE DETAIL
SCALE: N.T.S.

General Landscape Notes:

1. Refer to Plant Schedule and Planting Details for additional information.
2. All materials are subject to the approval of the Owner at any time.
3. Owner to inspect all plant locations and plant bed conditions prior to installation. On-site adjustments may be required.
4. Rootballs shall meet or exceed size standards as set forth in 'American Standards for Nursery Stock'. MAIN LEADERS OF ALL TREES SHALL REMAIN INTACT.
5. Remove from the site any plant material that turns brown or defoliates within five (5) days after planting. Replace immediately with approved, specified material.
6. Plant counts indicated on drawings are for Architect's use only. Contractor shall make own plant quantity takeoffs using drawings, specifications, and plant schedule requirements (i.e., spacing), unless otherwise directed by Architect. Contractor to verify bed measurements and install appropriate quantities as governed by plant spacing per schedule. Plant material quantities shown on plan are minimum quantities. Additional material may be needed to meet spacing requirements and field conditions.
7. Seed all areas disturbed by construction activities that are not otherwise noted to receive pavement, planting bed, or sod treatment.
8. The Contractor shall install and/or amend topsoil in all proposed bed areas to provide 12" of topsoil. Contractor shall coordinate quantity and placement of topsoil. Landscaper shall verify depth of topsoil prior to plant installation.
9. All tree locations shall be marked with 2x2" stakes prior to planting for review and approval by the Owner.
10. All plant beds shall receive 3" minimum of shredded hardwood bark mulch (unless otherwise noted).
11. Verify all utility locations in the field prior to beginning work. Repair all damaged utilities to Owner's satisfaction at no additional cost.
12. The Contractor shall maintain all plant material and lawns until the project is fully accepted by the Landscape Architect, unless otherwise noted.
13. All workmanship and materials shall be guaranteed by the Contractor for a period of one calendar year after Final Acceptance.
14. Contractor shall test all tree pits for drainage. Any tree pit that holds water for more than 24 hours shall be installed using tree pit drainage.
15. Irrigate all new landscape until established.

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ROYAL OAK MI

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11-16-2023 STAFF PLAN REVIEW

DESCRIPTION

LANDSCAPE PLAN

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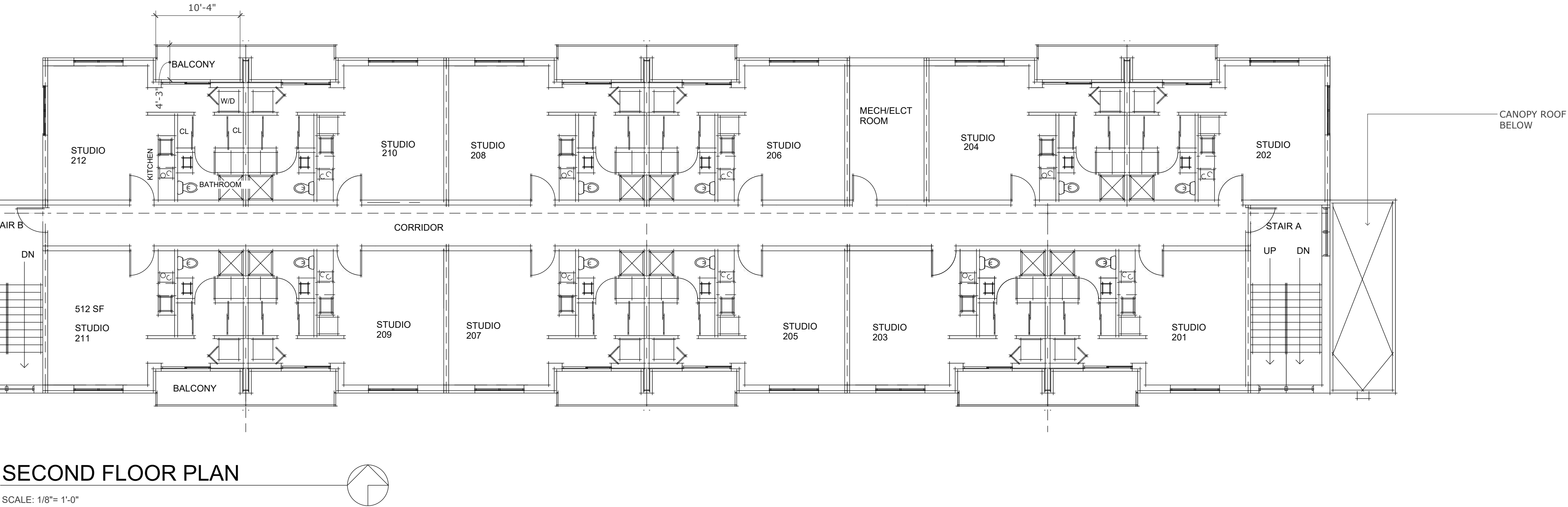
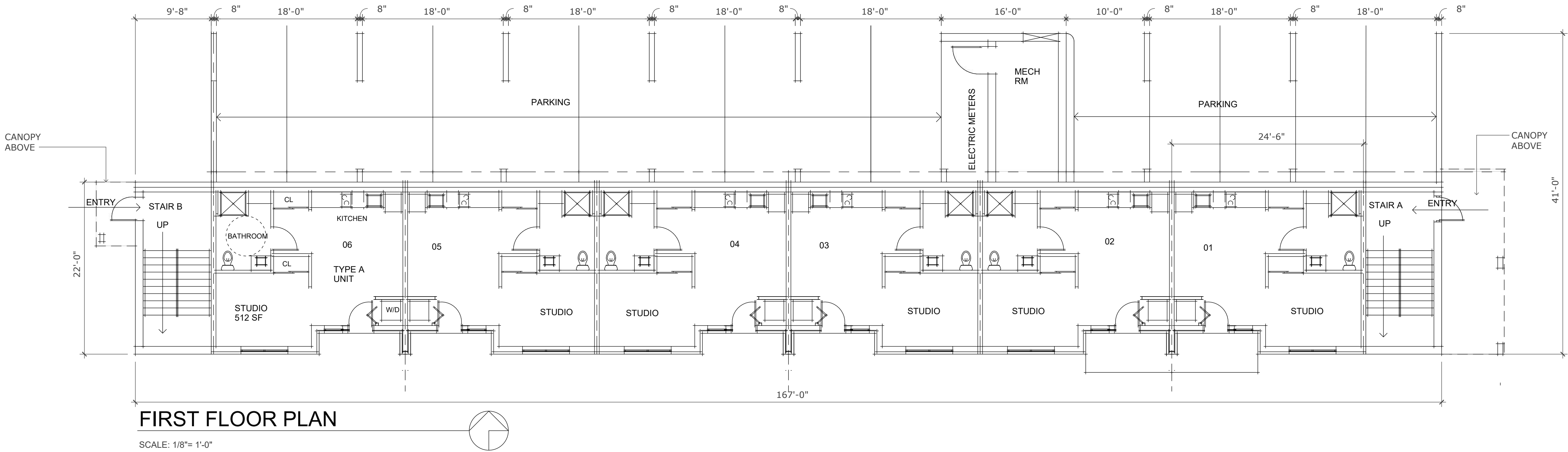
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ROYAL OAK MI

DATE AND ISSUE
10-20-2023 SITE PLAN REVIEW

REVISION
11-16-2023 STAFF PLAN REVIEW

DESCRIPTION
FIRST & SECOND FLOOR PLANS

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CHECKED BY:

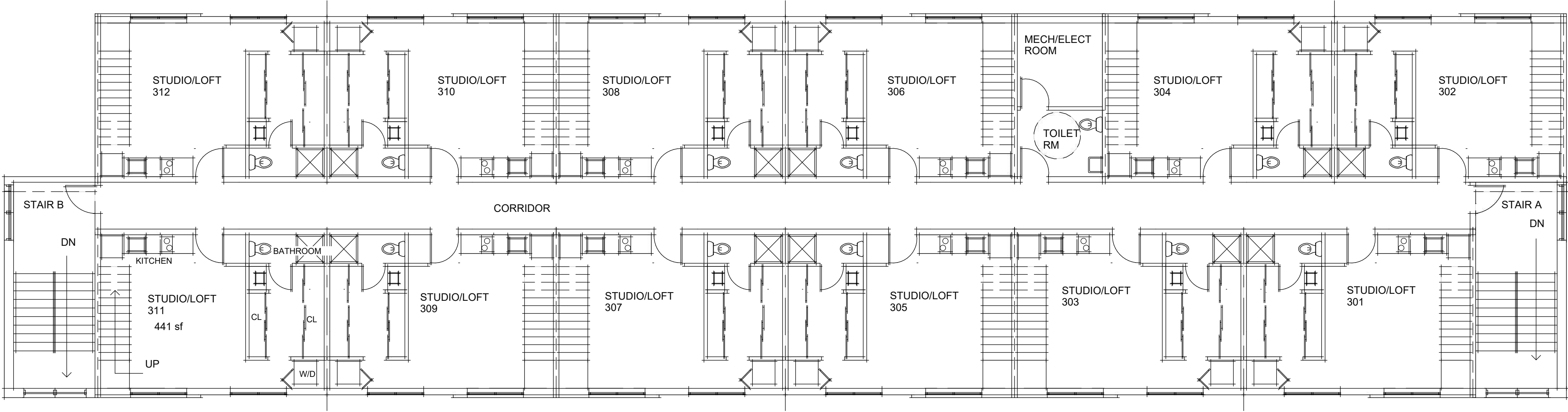
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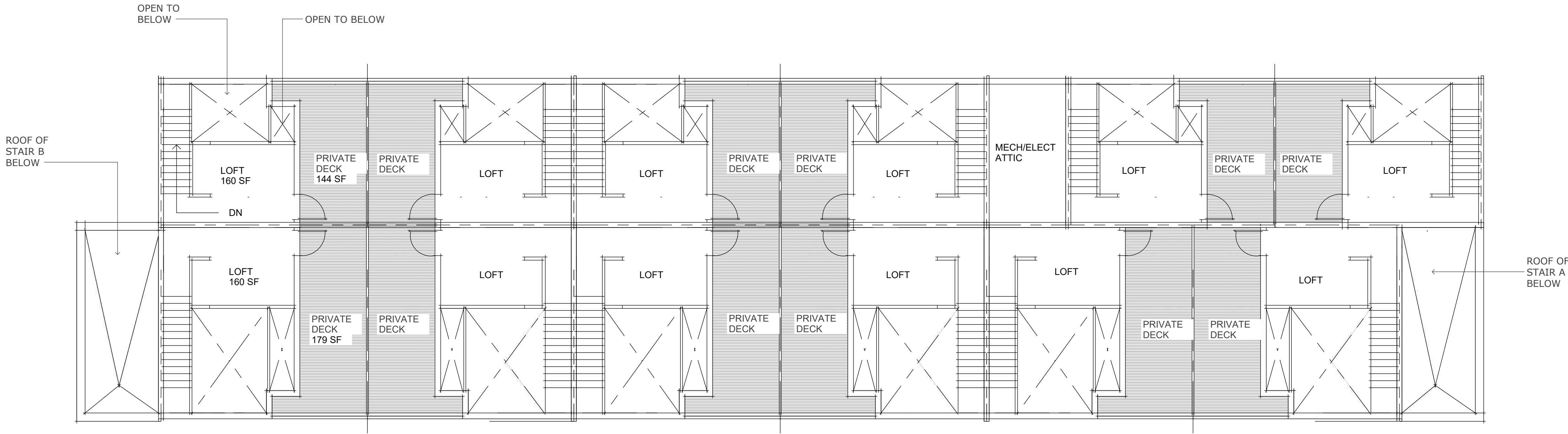
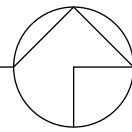
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A-3



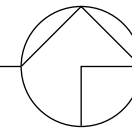
THIRD FLOOR PLAN

SCALE: 1/8"= 1'-0"



MEZZANINE FLOOR PLAN

SCALE: 1/8"= 1'-0"



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DATE AND ISSUE
10-20-2023 SITE PLAN REVIEW

REVISION
11-16-2023 STAFF PLAN REVIEW

DESCRIPTION

3RD & MEZZANINE FLOOR PLANS

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SOUTH ELEVATION

SCALE: 1/8"= 1'-0"



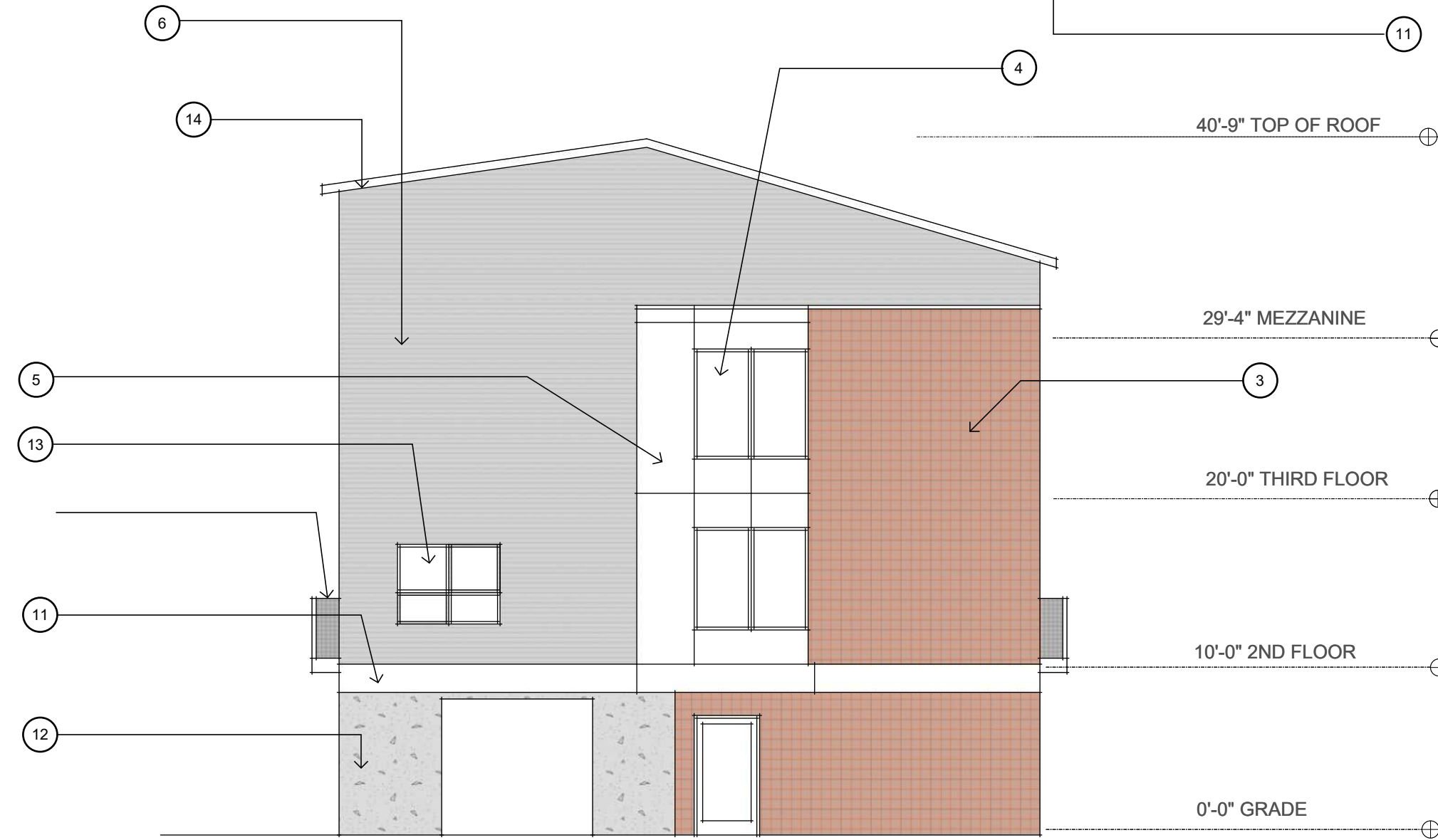
NORTH ELEVATION

SCALE: 1/8"= 1'-0"



EAST ELEVATION

SCALE: 1/8"= 1'-0"



WEST ELEVATION

SCALE: 1/8"= 1'-0"

EXTERIOR FINISHES	
1	GLAZED BRICK DETAIL @ ENTRIES
2	ENTRY CANOPY WITH METAL PANELS
3	BRICK VENEER
4	ALUMINUM STOREFRONT GLAZING SYSTEM
5	FLAT METAL PANEL
6	HORIZONTAL METAL SIDING
7	ASPHALT SHINGLES
8	SKYLIGHT
9	WOOD SCREEN WALL @ ROOF DECK
10	MESH GAURDRAIL @ BALCONY
11	FLAT PANEL METAL TRIM
12	CONCRETE SUPPORT WALL
13	VINYL WINDOW
14	METAL EAVE TRIM

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ROYAL OAK MI

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10-20-2023 SITE PLAN REVIEW

REVISION

11-16-2023 STAFF PLAN REVIEW

DESCRIPTION

COVER SHEET

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DATE:

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SHEET NO:

A-5



VIEW LOOKING WEST ENTERING FROM CROOKS ROAD



VIEW LOOKING SOUTHWEST



VIEW LOOKING NORTHWEST AT SOUTH FACADE



VIEW LOOKING NORTHWEST

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ARCHITECTS

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PROJECT
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3951 CROOKS ROAD
ROYAL OAK MI

DATE AND ISSUE
10-20-2023 SITE PLAN REVIEW

REVISION
11-16-2023 STAFF PLAN REVIEW

DESCRIPTION
PERSPECTIVE VIEWS

JOB NO:

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MEMORANDUM

DATE: December 13, 2023

TO: File / Petitioner(s)

FROM: Planning Division

SUBJECT: Rezoning from Multiple-Family Residential to Planned Unit Development (PUD) & Preliminary Site Plan (SP 23-12-19) to construct 3.5-story building with 30 multiple-family dwellings at **3915 Crooks Rd.** (parcel no. 25-05-428-019)
Amber The Vines, LLC, Petitioner & Owner
Schneider & Smith Architects, Architect

The Royal Oak Planning Commission, at its meeting on December 12, 2023, took the following action regarding your planned unit development (PUD) application:

Moved by Mr. Esbri

Seconded by Commissioner Douglas

Be it resolved that the request to rezone **3915 Crooks Road** (parcel no. 25-05-428-019) from “**Multiple-Family Residential**” to “**Planned Unit Development**” (PUD) in order construct a multiple-family building with three-and-a-half stories and 30 dwellings is hereby referred to the city commission with a **recommendation for approval**, based upon the following:

- a. Granting of the PUD will result in recognizable and material benefits to the ultimate users of the project and to the community, where such benefits would otherwise be unfeasible or unlikely to be achieved without application of the PUD regulations, and will be consistent with the criteria for an amendment to the official zoning map in § 770-129 of the zoning ordinance.
- b. The proposed type and density of multiple-family dwellings will not result in an unreasonable increase in the need for or burden upon public services, facilities, streets, and utilities.
- c. The proposed building and multiple-family dwellings are consistent with the public health, safety, and welfare of the city.
- d. The proposed building and multiple-family dwellings will not result in an unreasonable negative economic impact upon surrounding properties.
- e. The proposed building and multiple-family dwellings will be under single ownership and control such that there is a single entity having responsibility for completing the project in conformity with the zoning ordinance.

- f. The proposed building and multiple-family dwellings are consistent with the goals, policies, and future land use map of the city's master plan.

Be it further resolved that SP 23-12-19, a final planned unit development (PUD) site plan to construct a multiple-family building with three-and-a-half stories and 30 multiple-family dwellings at **3915 Crooks Road** (parcel no. 25-05-428-019), is hereby referred to the city commission with a **recommendation for approval** with the following **contingencies**:

- a. The petitioner shall apply for review of the final PUD site plan, rezoning, and development agreement by the city commission, including all fees and information required under § 770-99 C of the zoning ordinance.
- b. Prior to review by the city commission, the petitioner shall submit documentation such as a cross-access agreement with the owner of the adjacent property at 3922 Devon Road (parcel no. 25-05-428-007) to verify their authorization to use the gate for emergency vehicle egress.
- c. The final PUD site plan shall comply with the zoning ordinance (Chapter 770), as well as all other applicable codes and ordinances, except for the following:
 - 1) No more than 30 multiple-family dwellings shall be permitted.
 - 2) Building setbacks of less than 25 feet shall be permitted as depicted on the plan sheets.
 - 3) A building height of greater than 36 feet shall be permitted as depicted on the plan sheets.
 - 4) A height-to-width ratio of more than one-to-three shall be permitted for the north and south exterior elevations as depicted on the plan sheets.
 - 5) The primary building entrance on the east front façade facing Crooks Road shall be as depicted on the plan sheet.
 - 6) Landscaping, screening, and open spaces shall be as depicted on the plan sheets, including (i) trees and landscaping required within off-street parking lots, and (ii) replacement of mature trees that are removed.
 - 7) No fewer than 34 off-street parking spaces shall be provided, including all required barrier-free parking spaces.
- d. All paving, utilities, and work within public rights-of-way shall be in accordance with the specifications and standards of the city engineer. All electrical, telephone, and similar utilities shall be placed underground.
- e. All exterior lighting shall comply with § 770-96 B of the zoning ordinance and other city codes and ordinances.
- f. Signage shall comply with the sign ordinance (Chapter 607) or receive necessary variances from the planning commission.
- g. Performance bonds shall be posted in amounts to be determined by the building official.
- h. The final PUD site plan shall meet all other code and ordinance requirements, as determined by the building official, fire marshal, and city engineer, including, but not

limited to, the state building code, the city's fire prevention ordinance (Chapter 340), and the city's stormwater detention ordinance (Chapter 644), prior to the issuance of any building or right-of-way permits.

Motion adopted unanimously.

The planning commission's recommendation will be forwarded to the city commission for their consideration at a future meeting. Prior to scheduling your application for a meeting of the city commission, you will need to submit the following to the required \$2,000.00 fee for review of the rezoning, final PUD site plan, and development agreement by the city commission.

We are currently drafting a development agreement for your application, copies of which will be sent to you for review and execution once that draft is completed. A second reading with the city commission will not be scheduled until executed copies of the development agreement are submitted.

Please contact us if you have any questions or need further information.

Respectfully,



Timothy E. Thwing
Director of Community Development

cc: James A. Schneider, RA, Schneider + Smith Architects
Jerome S. Amber, PE, Amber The Vines, LLC
Dennis G. Cowan, Plunkett Cooney, PC

MEMORANDUM

DATE: December 6, 2023

TO: Planning Commission

FROM: Planning Division

SUBJECT: Rezoning from Multiple-Family Residential to Planned Unit Development (PUD) & Preliminary Site Plan (SP 23-12-19) to construct 3.5-story building with 30 multiple-family dwellings at 3915 Crooks Rd. (parcel no. 25-05-428-019)
Amber The Vines, LLC, Petitioner & Owner
Schneider & Smith Architects, Architect

1. Location & Existing Conditions

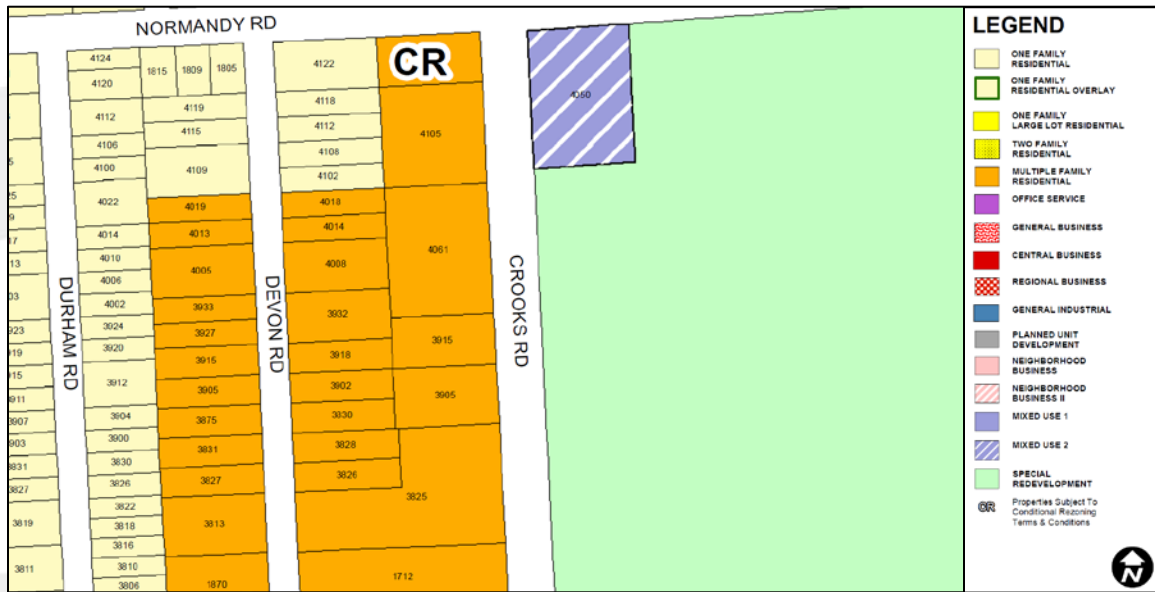
The property is located on the west side of Crooks Road between West 13 Mile Road and Normandy Road, west of Royal Oak High School. The lot has a width of 100.68 feet, a depth of 205.82 feet, and 20,734 square feet of area or 0.47 acre. It is developed with 11 multiple-family dwellings in two separate buildings (Amber's The Vines).



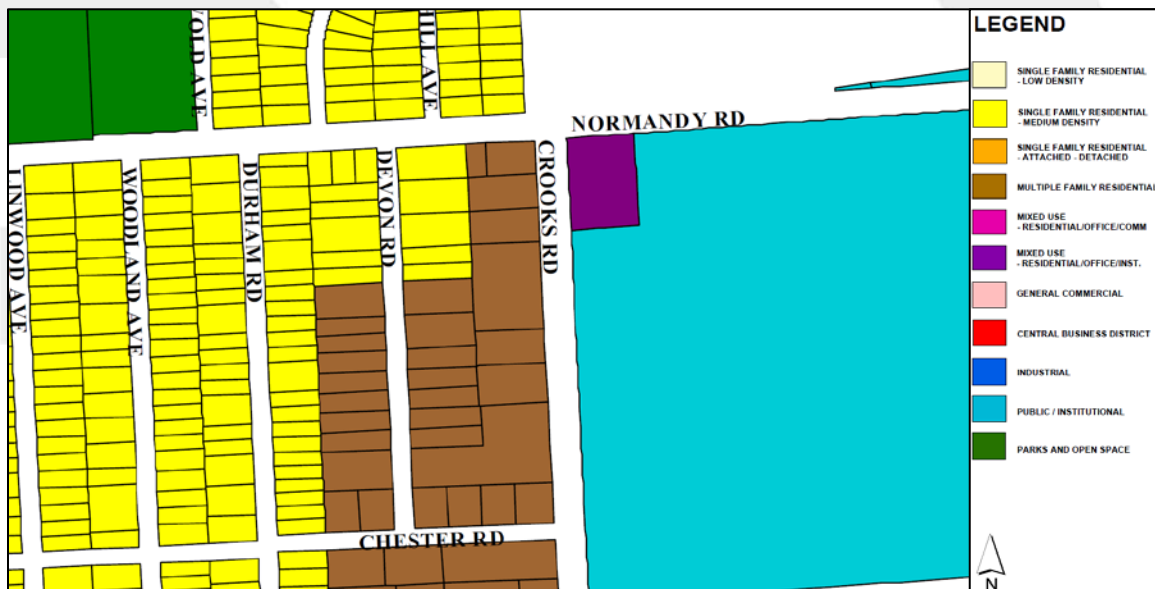
2. Zoning & Future Land Use

The property is zoned "Multiple-Family Residential" on the city's [zoning map](#) (next page). According to [§ 770-37](#) A of the city's zoning ordinance, the purpose of the "Multiple-Family Residential" zoning district is as follows:

This zone is composed of those areas of the city where the principal use is intended to be multiple-family dwellings at a higher density than permitted in Two-Family Residential zone. These areas would be located near major streets for good accessibility and be designed to be compatible with adjacent single-family areas. Various types and sizes of residential units, for ownership or rental, would thereby be provided to meet the needs of the different age and family groups in the community without creating an unreasonable burden to existing community facilities, utilities, or services. In addition to the dwellings permitted in this zone, there are certain nonresidential uses which may be compatible with and supportive of a residential environment and may be permitted either by right or through special land use approval.



Zoning Map



Future Land Use Map

The [future land use map](#) (previous page) from the city's [master plan](#) designates the property as “Multiple-Family Residential.” According to the master plan, the intent of this future land use category is to provide for multiple-family dwellings with 2,400 to 4,800 square feet of site area for each dwelling depending on the number of bedrooms in each.

3. Road Classification

The master plan’s functional road classification system identifies Crooks Road as a “principal arterial.” Streets designated as principal arterials are at the top of the classification hierarchy and their primary function is to carry vehicles long distances and provide through-travel movements.

4. PUD Zoning

The petitioner is proposing to change the zoning of this parcel from “Multiple-Family Residential” to “Planned Unit Development” or PUD according to the procedures and criteria outlined in [Article VIII](#) of the zoning ordinance. Rezoning to PUD may include both a preliminary and final site plan review before the planning commission.

Any land use authorized in the zoning ordinance may be included in a PUD, subject to adequate mechanisms being designed into the development to protect public health, safety, and welfare, and ensure the compatibility of varied land uses both within and outside the development.

Deviations to underlying zoning ordinance regulations for setbacks, parking, general provisions, and other requirements may be granted as part of a PUD provided there are recognizable and material benefits to the city that would otherwise be unfeasible or unlikely to be achieved without the PUD.

Rezoning the property to PUD is not required in order to develop the property with multiple-family dwellings. The property is currently zoned “Multiple-Family Residential” which allows multiple-family dwellings as a permitted use. Rather than rezoning the property to PUD, the petitioner could instead seek approval of a site plan from the planning commission and variances from the zoning board of appeals for any features of the site plan that do not fully comply with required zoning ordinance standards.

5. Proposed Use & Site Plan

A. Use & Construction. The petitioner proposes to demolish all existing structures and construct a new building with three-and-a-half stories and 30 multiple-family dwellings. The building would be placed along the south side of the property with off-street parking to the north of the building. Parking spaces would also be placed on the north half of the building’s ground level.

The dwellings would be studio or efficiency apartments. Dwellings on the ground level would each have an exterior door and porch. Dwellings on the second and third levels would be accessed from an interior hallway. On the second level each dwelling would have a balcony while those on the third level would have an upper loft level with a private roof top deck.

- B. Density & Lot Area. Maximum density permitted for multiple-family dwellings within the “Multiple-Family Residential” zoning district is determined by lot size according to the formula in [§ 770-37](#) (D)(3)(a) of the zoning ordinance. The first two dwellings require 9,000 square feet of lot area and each additional dwelling requires 3,000 more square feet.

With 20,734 square feet of lot area, no more than five multiple-family dwellings could be developed at this property under the required formula. The petitioner is proposing 30 dwellings which would require 93,000 square feet of lot area under the formula.

Density for a PUD project may be determined by the planning commission according to the residential design standards for PUD’s in [§ 770-100](#) A (1), which reads as follows:

- (1) Project density shall be based on the density permitted in the zone district in which the property is situated immediately prior to classification under this article. Additional density for residential uses is permitted, subject to approval recommendation by the planning commission and approval by the city commission. The approved density shall be based upon a demonstration by the applicant of the following:
 - (a) Consistency with the master plan;
 - (b) Innovative planning and design excellence;
 - (c) Relationship to adjacent land uses;
 - (d) Pedestrian and/or vehicular safety provisions;
 - (e) Aesthetic beauty;
 - (f) Provisions for the users of the project; and
 - (g) Demonstration that the resulting benefits would otherwise be unlikely to be achieved without the PUD application.
- C. Building Form & Placement. A maximum building height of 36 feet is permitted within the “Multiple-Family Residential” zoning district under [§ 770-37](#) D 3 (b). The proposed building would have a height of 39 feet 2 ½ inches to its highest midpoint as measured by staff and 40 feet 9 inches to the roof peak.

Minimum setbacks of 25 feet are required from all lot lines in “Multiple-Family Residential” zoning according to [§ 770-37](#) D (3)(c). A south side yard setback of 12 feet and a west rear yard setback of 13 feet 10 inches are proposed. The east front yard setback is 25 feet and the north side yard setback 47 feet 9 inches.

A readily identifiable and accessible primary entrance facing Crooks Road for either the building or individual units is required under [§ 770-30](#) B (2). The east front façade includes a door a stairwell that would serve as the primary access for the second and third levels. However, there are no other features on the east front façade that identify the door as the building’s primary entrance other than a canopy with metal panels.

Under [§ 770-30](#) B (4)(a), a maximum height-to-width ratio of one-to-three is permitted for all buildings. The east and west exterior elevations have a width of 41 feet while the width of the north and south elevations are 167 feet. The proposed height-to-width ratio for the north and south exterior elevations is therefore over one-to-four. The ratio for the east and west elevations is slightly over one-to-one.

- D. Emergency Vehicle Access. Due to the depth of the parking lot, a cul-de-sac with a 50-foot radius would typically be required under the city’s fire prevention ordinance ([Chapter](#)

[340](#)). As an alternative, the petitioner proposes to install a gate on the west rear lot line to allow emergency vehicle access to Devon Road through the adjacent property at 3922 Devon Road. The fire marshal reviewed the site plan and determined that the gate was an acceptable alternative.

As part of a final PUD site plan, the petitioner will need to submit documentation such as a cross-access agreement with the adjacent property owner to verify their authorization to use the gate for emergency vehicle egress.

- E. Off-Street Parking. Two off-street parking spaces are required for each dwelling according to [§ 770-107](#) of the zoning ordinance, or 60 spaces for the 30 proposed dwellings. The site plan includes 34 parking spaces or 1.13 spaces per dwelling.
- F. Landscaping & Screening. One deciduous tree with a minimum diameter-at-breast-height (d.b.h.) of 2 ½ inches within a curbed, landscaped island is required every eight off-street parking spaces according to [§ 770-90 E \(1\)](#) of the zoning ordinance. However no required trees in landscaped islands are proposed within the parking lot other than three oak trees next to the eastern most parking space under the building.

According to the petitioner's survey, five mature deciduous trees would be removed from the site that range in size from eight inches to 25 inches d.b.h. The total d.b.h. of all trees to be removed would be 57 inches. The site plan identifies seven new deciduous trees within the north front yard setback, each with a d.b.h. of three inches. Also, three existing trees along the west rear lot line would remain.

According to [§ 770-90 K \(4\)](#), when large mature trees are removed from a property that is subject to site plan review, they must be replaced at a two-to-one ratio with trees of a similar size or character. Of the trees to be removed, four of them with a total d.b.h. of 49 inches would need to be replaced under subparagraph K (4). One poplar tree with a d.b.h. of eight inches would not need to be replaced since it is a prohibited species under [§ 770-90 K \(6\)](#).

Removal of the existing trees as proposed would therefore require the planting of at least 20 new deciduous trees of a similar size or character with a total d.b.h. of 49 inches or more. If trees of a similar size are not available, then multiple trees must be planted in a number determined to be necessary by the planning commission under that same subparagraph.

The planning commission has the option under [§ 770-90 M \(1\)\(e\)](#) to approve the landscaping plan proposed by the petitioner with the seven replacement trees with a d.b.h. of three. The planning commission may also require the planting of more trees or that a fee be paid into the city's tree replacement fund instead. To match the total d.b.h. of removed trees an additional five trees with a d.b.h. of 2 ½ inches would be required. The fee schedule approved by the city commission would require \$200.00 for every inch in d.b.h. of trees that are removed but not replaced. With a difference of 28 inches, a fee of \$ 5,600 could be assessed.

- G. Community Benefits. The petitioner submitted a summary of community benefits (attached) that they offer as part of their project in response to the city commission's [community benefits guidelines](#).

- H. Deviations from Required Standards. Under [§ 770-99](#) A of the zoning ordinance, the petitioner must list the known deviations from the underlying zoning ordinance regulations they are seeking. In the table on the next page staff have identified the deviations from current zoning standards that are included as part of the preliminary PUD plan.

In order to grant these deviations, the planning commission must determine there are recognizable and material benefits that would otherwise be unfeasible or unlikely to be achieved without the PUD if required standards were met as stipulated under [§ 770-98](#) C (1)(a).

Section	Standard	Min. Required / Max. Permitted	Proposed	Description
§ 770-30 B (2)	Primary Entrance on Front Façade	Readily identifiable and accessible primary entrance facing street	Door to stairwell on east front façade with canopy of metal panels	The proposed door on the east front façade would serve as the primary entrance for the second and third levels.
§ 770-30 B (4)(a)	Height-to-Width Ratio	1-to-3	1-to-4	The north and south exterior elevation would exceed the maximum permitted height-to-width ratio.
§ 770-37 D (3)(a)	Lot Size	93,000 sq. ft.	20,734 sq. ft.	A lot size of 9,000 sq. ft. for the first two dwellings plus 3,000 sq. ft. for each additional dwelling is required in Multiple-Family Residential zoning.
	Density	5 dwellings	30 dwellings	
§ 770-37 D (3)(b)	Building Height	36 ft.	39 ft. 2 ½ in.	The building would have a height of 40 feet 9 inches to the roof peak.
§ 770-37 D (3)(c)	West Rear Yard Setback	25 ft.	13 ft. 10 in.	Building setbacks of 25 feet from each lot line are required for multiple-family buildings in Multiple-Family Residential zoning.
	South Side Yard Setback		12 ft.	
§ 770-90 E (1)	Interior Parking Lot Landscaping	4 trees within curbed islands	3 trees next to one parking space	One tree within a curbed, landscaped island is required every eight parking spaces.
§ 770-90 K (4)	Number of Replacement Trees	20 trees	7 trees	A potential tree replacement fee of \$ 5,600 could be assessed by the city commission for the proposed site plan.
		49 in. d.b.h.	21 in. d.b.h.	
§ 770-107	Number of Off-Street Parking Spaces	60 spaces	34 spaces	Two parking spaces per dwelling are required; 1.13 parking spaces per dwelling are proposed.

6. Results of Approval

If approved, the preliminary PUD plan would constitute approval of the use and design concept and confer on the applicant the right to proceed with preparation of a final PUD plan. Approval of a preliminary PUD plan would give the petitioner six months to prepare and submit a final PUD plan for review and approval by the planning commission in accordance with [§ 770-99](#) C (2) of the zoning ordinance.

The planning commission has approved some previous preliminary PUD applications as final PUD plans without reviewing them a second time as called for under [§ 770-99](#) C (2). This allowed petitioners to proceed directly to the city commission for rezoning of the property to PUD and consideration of the required development agreement.

7. Recommendations

The planning commission may grant, at its discretion, preliminary plan approval for a PUD project provided it finds the proposed plan meets the criteria and standards of [Article VIII](#) of the zoning ordinance. Following the required public hearing, the planning commission may approve, table, or deny a preliminary PUD plan. The basis for the planning commission's decision in the case of a PUD plan is found in [§ 770-98](#) C, which reads as follows:

C. The applicant for a PUD must demonstrate all of the following criteria as a condition to being entitled to PUD treatment:

(1) Granting of the PUD will result in one of the following:

(a) A recognizable and material benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved without application of the PUD regulations; or

(b) A nonconforming use shall, to a material extent, be rendered more conforming, or less offensive, to the zoning district in which it is situated.

(2) The proposed type and density of use shall not result in an unreasonable increase in the need for or burden upon public services, facilities, streets and utilities.

(3) The proposed development shall be consistent with the public health, safety and welfare of the City.

(4) The proposed development shall not result in an unreasonable negative economic impact upon surrounding properties.

(5) The proposed development shall be under single ownership and/or control such that there is a single entity having responsibility for completing the project in conformity with this chapter.

(6) The proposed development shall be consistent with the goals and policies of the City of Royal Oak Master Plan.

Should the planning commission wish to consider approval of the presented project as either a preliminary or final PUD plan, including all discretionary items, the planning division recommends the following contingencies:

A. The petitioner shall apply for one of the following within six months, including all fees and information required under [§ 770-99](#) C of the zoning ordinance: review of the final PUD plan by the planning commission; or review of the final PUD plan, rezoning, and development agreement by the city commission.

B. Prior to review by the city commission, (1) the final PUD site plan shall be revised to comply with any modifications determined necessary and advisable by the planning commission, and (2) the petitioner shall submit documentation such as a cross-access agreement with owner of the adjacent property at 3922 Devon Road (parcel no. 25-05-428-007) to verify their authorization to use the gate for emergency vehicle egress.

C. The final PUD plan shall comply with the zoning ordinance ([Chapter 770](#)), as well as all other applicable codes and ordinances, except for the following:

- 1) No more than 30 multiple-family dwellings shall be permitted.
 - 2) Building setbacks of less than 25 feet shall be permitted as depicted on the plan sheets.
 - 3) A building height of greater than 36 feet peak shall be permitted as depicted on the plan sheets.
 - 4) A height-to-width ratio of more than one-to-three shall be permitted for the north and south exterior elevations as depicted on the plan sheets.
 - 5) The primary building entrance on the east front façade facing Crooks Road shall be as depicted on the plan sheet.
 - 6) Landscaping, screening, and open spaces shall be as depicted on the plan sheets, including (a) trees required within off-street parking lots, and (b) replacement of mature trees that are removed, or payment of a fee into the city's tree replacement fund in an amount to be determined by the city commission.
 - 7) No fewer than 34 off-street parking spaces shall be provided.
- D. All paving, utilities, and work within public rights-of-way shall be in accordance with the specifications and standards of the city engineer and included on the final PUD plan. All electrical, telephone, and similar utilities shall be placed underground.
- E. Exterior lighting shall be as depicted on the final PUD plan, and any additional exterior lighting fixtures shall comply with [§ 770-96](#) B of the zoning ordinance and other city codes and ordinances.
- F. Signage shall be as depicted on the final PUD plan, and any additional signage shall comply with the sign ordinance ([Chapter 607](#)) or receive necessary variances from the planning commission.
- G. Performance bonds shall be posted in amounts to be determined by the building official.
- H. The final PUD plan shall meet all other code and ordinance requirements, as determined by the building official, fire marshal, and city engineer, including, but not limited to, the state building code, the city's fire prevention ordinance ([Chapter 340](#)), and the city's stormwater detention ordinance ([Chapter 644](#)), **prior** to the issuance of **any** building or right-of-way permits.

cc: Jim Schneider, Schneider & Smith Architects
Jerome S. Amber, Amber The Vines, LLC

It is recommended that the petitioner or a representative attend the planning commission meeting on December 12, 2023. The meeting starts at 7:00 p.m. in the city commission chambers on the first floor of city hall.

December 7, 2023

Planning Commission
City of Royal Oak
203 S. Troy St.
Royal Oak, MI 48067

Re: Planned Unit Development / Multi-Family Residential
3915 Crooks Road ("Property")

Dear Chairperson Quesada and Planning Commissioners:

Amber the Vines, LLC ("Amber") proposes to construct a 30-unit multiple family project on Crooks Road across from the Royal Oak High School and Lindell Arena/athletic fields. Amber currently owns the Property.

The Property currently contains 11 units within two buildings. The building in front was a former residential home, which was converted into three units. A second building, which is a prototype of modular construction, was built in 1972 and contains eight units. After 50 years, the buildings are well past their useful life and simply updating the facilities is not an option. The Property will remain multi-family and is consistent with the same use the entire half-mile stretch of Crooks Road (on the west side).

The proposed project will contain 18 studio units of 512 square feet and 12 studio units with a bedroom loft of 600 square feet. There are updated amenities, including:

- In-unit washer and dryer
- Individual unit heating/cooling controls
- Some parking spaces covered by the above-ground units
- Polished concrete or wood flooring (no carpeting)
- Open ceilings
- Exterior porch, balcony or roof top deck for each unit

The Property is narrow only having about 100 feet of width. Consequently, some deviations are required in order to redevelop the site.

Parking is at a ratio of 1.13 per unit, which is consistent with recent new developments in the City. The parking ratio is similar to the Amber on 11 Studios and Lofts, where there have been no parking issues of any nature at that site from either tenants or neighboring

residential properties. In this instance, there is no nearby single-family residential housing as the Property is surrounded by apartments.

Amber believes the benefits of the project far outweigh any deviations which will be granted, including:

1. Transforming an old and tired property into a vibrant, new multi-family development;
2. Adding to the City's tax base;
3. Providing development that is consistent with the City's Master Plan; and
4. Provides substantial features as required by the City's Community Benefit Guidelines.

As stated in the attached letter from Jim Schneider, some of the environmentally sustainable benefits of the project include:

- Electric car charging stations for 15 vehicles;
- LED lighting throughout the building;
- Energy Star appliances;
- Electric heat pumps for tenant heating and cooling;
- Drought-resistant landscaping;
- 12% increase in green space;
- 50% increase in tree canopy;
- Meets LEED Silver Water Savings standards;
- Using renewable resources in construction, as well as sourcing regional materials.

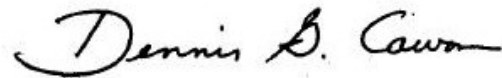
Attached is detail indicating Amber's compliance with the criteria that the Planning Commission is to consider pursuant to Section 770-98 of the Royal Oak Zoning Ordinance.

Also attached is Amber's compliance with density requirements pursuant to Section 770-100. Amber is seeking additional density as the units are smaller and can be accommodated on-site. The economics of multi-family construction have changed dramatically with high material and labor costs, high interest rates and delays due to supply chain issues. The density will allow a more functional and responsible use of the property. Under current zoning, to build 30 units would require 93,000 square feet of land, over four times the square footage of the Property! The current proposal efficiently uses the Property by "going vertical."

Planning Commission
City of Royal Oak
December 7, 2023
Page 3

Amber respectfully requests the Planning Commission provide its recommendation for approval of the Planned Unit Development and Site Plan for this project. If you have any questions, please feel free to contact me at your earliest convenience.

Sincerely,

A handwritten signature in black ink that reads "Dennis G. Cowan". The signature is written in a cursive, flowing style.

Dennis G. Cowan
Direct Dial: (248) 901-4029
Cell: (248) 321-2820
Email: dcowan@plunkettcooney.com

DGC/cmw
Attachments

cc: Jerry Amber
Jim Schneider
Tim Thwing
Joseph Murphy

Open.19331.65176.32248489-1

Schneider + Smith A R C H I T E C T S

Douglas A. Hedges, AICP, PCP
City Planner II, Planning Division
Planning Division
211 South Williams Street
Royal Oak, MI 48067

Re: Special Land Use & Site Plan for Amber Landing Studios and Lofts 3951 Crooks Road

Doug,

We have prepared the following overview of some of the project features that address the community benefits guidelines.

Per 770-98 PUD regulations

The proposed project replaces 11 units in two buildings which are well beyond their useful life with a new 30-unit 3 story building. The proposed development is a conforming use, will not result in an unreasonable increase in need for or burden city services, facilitates, streets or utilities.

The proposed development will be an improvement in public health, safety and welfare of the city, and will not result in a negative economic impact upon surrounding areas. The building will be much more energy efficient, will be fully sprinkled for fire safety, and will capture and store storm water, all of benefit to the residents and the community.

Compared to the exiting development the proposed development will provide;

- 12% increase in greenspace

- 50% increase in tree canopy

- 3% decrease in storm water area (parking and roof areas)

- 25% decrease in asphalt paved area

In today's housing market there are two primary items that can affect the cost of housing, density and unit size. Redeveloping this site with greater density and modest unit sizes will result in more affordable units.

The development will be owned by Amber Properties Company a company that owns and operates over 1600 units in the area and has been operating in the community for over 50 years. Amber Properties has a proven track record of investment in their existing properties and in developing new properties in the community.

Following is a list of additional community/environmental benefits of the project.

- 6 grade level units easily accessible for individuals with mobility issues.

- Outdoor living space for each unit; porch, balcony, or deck.

- Leeds silver water saving standard

- Electric heat pumps for unit HVAC

- Generous window sizes for daylight

- Electric cooktops

- Electric car charging stations @ select parking spaces

- LED lighting throughout

- Energy star appliances

- Drought resistant landscaping

Schneider + Smith A R C H I T E C T S

With regard to sustainability, material selection is critical. Materials with long life cycles, sourced from renewable resources, and providing healthy interior environments often cost more up front but result in lower maintenance costs, less use of materials containing petroleum products and less disposal of worn-out materials. This project will be utilizing the following materials based on their sustainability.

Primary structure, wood framing, a highly renewable resource

Metal siding produced with 77% recycled content, long life cycle and recyclable

Brick exterior, long life cycle and renewable resource

Solid wood flooring throughout units, healthy living standard, long life cycle and renewable resource

Porcelain tile in common areas and bathrooms, healthy living standard, long life cycle and renewable resource

In addition to renewable resources, recyclable content and energy efficiency, a major component of a buildings environmental impact is material transportation, sourcing regional materials is a criteria for all major green building rating organizations. Materials are considered regional when manufacturing sourcing can be achieved within 500 miles.

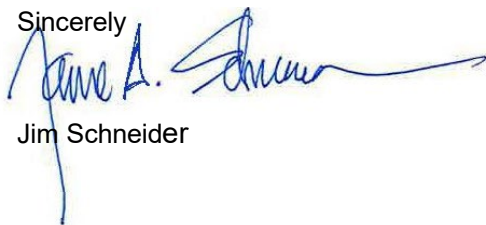
Major building components sourced with-in 500 miles

Steel siding	284 miles
Asphalt shingles	129 miles
Drywall	264 miles
Cabinets	197 miles
Hardwood flooring	220 miles
Concrete	10-30 miles
Masonry	269 miles
Wood sheathing	193 miles

In closing we believe this project, repurposing this site, represents a substantial commitment by the owner to the community and provides enormous community benefits including safe, sustainable, affordable housing.

Please let me know if you have any questions.

Sincerely



Jim Schneider

Amber the Vines, LLC
3915 Crooks Road

Compliance with Planned Unit Development Standards
Pursuant to Zoning Ordinance Section 770-98

(C) The applicant for a PUD must demonstrate all of the following criteria as a condition to being entitled to PUD treatment:

(1) Granting of the PUD will result in one of the following:

- (a) A recognizable and material benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved without application of the PUD regulations; or**
- (b) A nonconforming use shall, to a material extent, be rendered more conforming, or less offensive, to the zoning district in which it is situated.**

The proposed PUD exceeds the Community Benefit Guidelines as established by the City Commission. The extensive list of Community Benefits is detailed in the attached letter from Jim Schneider to the Planning Division. These Community Benefits include significant environmentally sustainable features and smaller units (between 512 and 600 sq. ft.), which are more attractive to Royal Oak's workforce. These various Community Benefits could not occur on the current site without a PUD, as the Property is extremely outdated and dysfunctional with respect to modern amenities.

(2) The proposed type and density of use shall not result in an unreasonable increase in the need for or burden upon public services, facilities, streets and utilities.

The proposed PUD will continue to access Crooks Road. Public services and utilities are already available. There will be no unreasonable increase or burden upon public services, facilities, Crooks Road or utilities.

(3) The proposed development shall be consistent with the public health, safety and welfare of the City.

Old and outdated buildings will be replaced with a vibrant facility. Stormwater retention, which currently does not exist, will be installed as a

result of the PUD. The environmental sustainability features will certainly benefit the health, safety and welfare of the City.

- (4) The proposed development shall not result in an unreasonable negative economic impact upon surrounding properties.**

All of the surrounding properties are already multi-family buildings. This new development will result in an upgrade to the area, both from a building and architectural aspect. The only economic impact to the surrounding area will be positive. New construction generally results in increased property values.

- (5) The proposed development shall be under single ownership and/or control such that there is a single entity having responsibility for completing the project in conformity with this chapter.**

The property is currently and will continue to be owned by Amber the Vines, LLC, which will be responsible for completion of the project.

- (6) The proposed development shall be consistent with the goals and policies of the City of Royal Oak Master Plan.**

The City's Future Land Use Map in the current Master Plan identifies the property as Multi-Family Residential. The project meets the provisions of Objective 1.3 concerning development along public transit corridors, reasonable lot coverage and parking in the side yard. Amber asserts that its request for a PUD in this Multi-Family Residential District is consistent with the Master Plan and the Future Land Use Map, and nearby multi-family dwellings on Crooks Road.

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Amber the Vines, LLC
3915 Crooks Road

Compliance with Residential Project Design Standards re: Density
Pursuant to Zoning Ordinance Section 770-100(A)

- (1) Project density shall be based on the density permitted in the zone district in which the property is situated immediately prior to classification under this article. Additional density for residential uses is permitted, subject to approval recommendation by the Plan Commission and approval by the City Commission. The approved density shall be based upon a demonstration by the applicant of the following:**

(a) Consistency with the Master Plan;

Both the current Zoning Ordinance and the Master Plan's Future Land Use Map identify the Property as Multi-Family. The proposed density is consistent with recent approved projects in Royal Oak.

(b) Innovative planning and design excellence;

The building exterior will be of brick and metal siding. The canopy over the door on Crooks Road draws attention to that entrance. Efficient use of building space with no large lobby decreases energy use. Each unit has an outdoor feature of either a porch, balcony or rooftop deck. All of these features provide attention to detail and result in a very appealing building.

(c) Relationship to adjacent land uses;

The Property sits in the middle of nearly a one-half mile stretch of multi-family buildings on the east side of Crooks Road. The Property is currently used for multi-family and the current facility was constructed in 1972. The relationship of the Property to adjacent land uses is positive and not detrimental in any way.

(d) Pedestrian and/or vehicular safety provisions;

The ingress/egress has been reduced from two curb cuts to one. Interior site circulation is improved with no "blind spots" as currently exists.

(e) Aesthetic beauty;

The new construction will be a significant upgrade from the current over 50-year-old buildings.

(f) Provisions for the users of the project; and

The new multi-family building will allow for many modern amenities that are not included in the current facility, including:

- In-unit washer and dryer;
- Individual unit heating and cooling controls;
- Covered parking spaces;
- Bike rack; and
- Close proximity to City recreational facilities.

(g) Demonstration that the resulting benefits would otherwise be unlikely to be achieved without the PUD application.

The PUD will allow efficient use of the Property, with the result of much needed Property upgrades. The PUD will allow for smaller units, which are more attractive to the Royal Oak work force. For aesthetics, functionality and economics, the project would not occur without the PUD.

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