

MEMORANDUM

Community Development Department
City of Royal Oak, Michigan

Meeting Date: June 14, 2016
211 Williams St. / P.O. Box 64
Royal Oak, MI 48068-0064
Phone: (248) 246-3280
Fax: (248) 246-3005
www.romi.gov

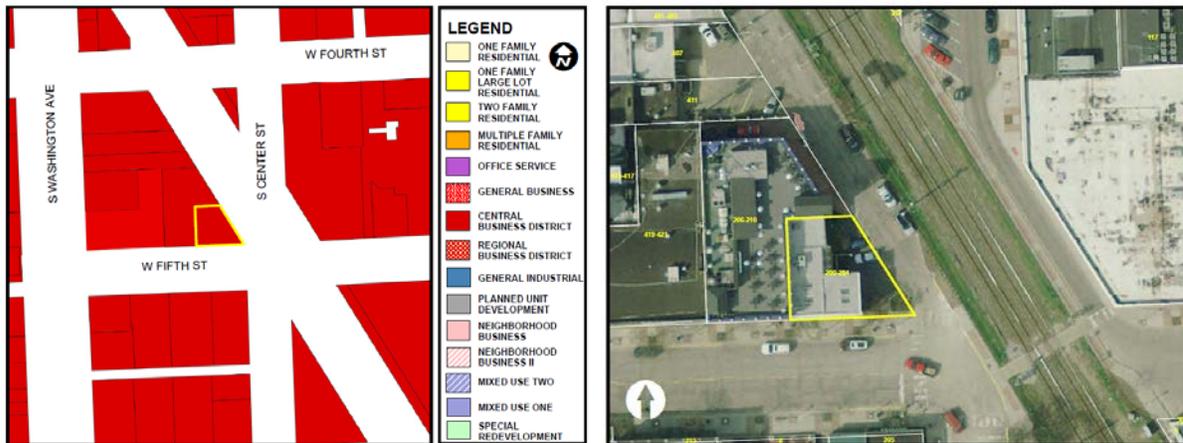
DATE: May 26, 2016

TO: Planning Commission

FROM: Planning Division

SUBJECT: Special Land Use & Site Plan (SP 16-06-15) to modify outdoor dining area of restaurant (Detroit Dogs) at **200 W. Fifth St.** (parcel no. 25-21-237-007)
DDC Devco, Petitioner
D.S. Jean, LLC, Owner
Krieger-Klatt Architects, Inc., Architect

1. Zoning Map & Aerial Photograph



2. Zoning Ordinance Provisions

ARTICLE IV Zone Regulations & General Provisions – § 770-42 Central Business District, (C) Special Land Uses (2): Outdoor café service or dining on private property is a special land use in the Central Business District subject to the requirements in § 770-70, Outdoor Café Service.

ARTICLE V Special Provisions – § 770-70 Outdoor Café Service: This section contains design standards and operational requirements for outdoor café service or dining on private property of a principal use.

3. Compatibility with Master Plan

The future land use for the property is designated as “Central Business District” on the Future Land Use Map of the city’s Master Plan. Areas planned as Central Business District are intended to promote the downtown as a special business area offering a range of convenient retail shops, personal services, housing, restaurants, banks, offices, and other uses. It is designed to provide for and promote a mix of uses that provide convenient pedestrian-accessible shopping along a continuous street frontage.

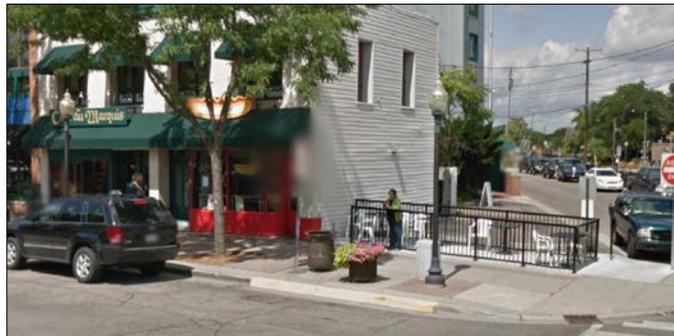
4. Previous Actions

SP 13-08-19 – August 13, 2013: A special land use permit and site plan were approved by the Planning Commission to permit conversion of an existing building into a standard restaurant with outdoor dining (Detroit Dogs).

5. Other Findings

- A. Location & Site Characteristics. The subject property is located at the northwest corner of West Fifth Street and South Center Street immediately west of the Canadian National railroad right-of-way. A portion of the railroad right-of-way along the site's northeast side lot line is used as a public alley. The site contains a two-story building currently occupied on the ground floor by a coffee house (Café de Marquis) and a restaurant (Detroit Dogs) with offices on the second floor.

Between the building and the railroad right-of-way are off-street parking spaces, a loading area, and a screened waste receptacle. The parking spaces are separated from the Fifth Street sidewalk by an outdoor dining area for the restaurant. The outdoor dining area was approved by the Planning Commission in 2013 and replaced two raised beds that were planted with trees.



- B. Proposed Use & Construction. The petitioner proposes to enclose the outdoor dining area on a seasonal basis. Renovations are also proposed to the restaurant's interior floor space and exterior façade. The metal fence currently surrounding the outdoor dining area would be replaced by a three-foot high masonry block wall. A steel tube frame with a corrugated steel roof would be added on top of the masonry wall and connected to the east side façade of the building.

Rolled up clear vinyl panels would be attached to the frame and a temporary door would be installed to allow use of the outdoor dining area during fall and winter months. No heating system for the enclosure is identified on the site plan.

A pedestrian door would be added to the east side façade of the building to allow direct access to the outdoor dining area. An overhead window or door would also be added to the east side façade of the building.

The existing ground level windows on the building's south front façade would be converted into an overhead door. Staff recommends that a three-foot high metal railing be added to the south front façade along the base of the overhead door to prevent chairs, tables, and patrons from spilling over onto the sidewalk and blocking pedestrian traffic. Railings were required for other site plans in the downtown that featured similar doors or windows (Blaze Pizza, Atomic Coffee).

- C. Off-Street Parking & Loading. The area between the building and the railroad right-of-way allows space for loading and waste disposal. The building is located within the Central Business District zone therefore no off-street parking is required although there are parking spaces within this area.

The petitioner initially proposed to place a food truck within this area. Food trucks are defined as a transient merchant under the Zoning Ordinance, a use which is not allowed within the Central Business District. Food trucks are only allowed in zoning districts where transient merchants are either a permitted or special land use, such as the Neighborhood Business and General Business zones.

- D. Stormwater Run-Off. The corrugated steel roof for the outdoor dining area would slope away from the building toward the alley. Stormwater run-off from the corrugated steel roof would not be allowed to drain into the adjacent alley or other properties. The petitioner will therefore need to install gutters as part of the roof and frame of the outdoor dining area to contain stormwater run-off on site.
- E. Result of Approval. If the petitioner's request for a special land use permit is approved then site plan review may proceed.

6. Recommendations

The Planning Commission, at its discretion, may grant special land use permits. Following the required public hearing, the Commission may approve, approve with conditions, or deny a special land use permit. The basis for the Planning Commission's decision in the case of a special land use request is found in §770-11, Basis of Determination, which reads as follows:

The Planning Commission shall review the proposed special land use in terms of the standards stated within this Ordinance and shall establish that such use and the proposed location:

- (a) *Will be harmonious and in accordance with the general objectives or any specific objectives of the Master Plan.*
- (b) *Will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and will not change the essential character of the area.*
- (c) *Will not be hazardous or disturbing to existing uses or uses reasonably anticipated in the future.*
- (d) *Will be an improvement in relation to property in the immediate vicinity and to the City as a whole.*
- (e) *Will be served adequately by essential public services and facilities or that the persons responsible for the establishment of the proposed use will provide adequately any such service or facility.*
- (f) *Will not create excessive additional public costs and will not be detrimental to the economic welfare of the City.*
- (g) *Will be consistent with the intent and purposes of this Ordinance, and comply with all applicable provisions and standards, which are established for said use by this Ordinance and other applicable codes.*

cc: Mo Asker, DDC Devco
Ryan Kowalski, Krieger-Klatt Architects, Inc.

It is recommended that the petitioner or a representative attend the June 14, 2016 Planning Commission meeting. The meeting starts at 7:30 p.m. in the City Commission chambers on the 3rd floor of City Hall.

MEMORANDUM

Community Development Department
City of Royal Oak, Michigan

Meeting Date: June 14, 2016
211 Williams St. / P.O. Box 64
Royal Oak, MI 48068-0064
Phone: (248) 246-3280
Fax: (248) 246-3005
www.romi.gov

DATE: May 26, 2016

TO: Planning Commission

FROM: Planning Division

SUBJECT: SP 16-06-15 – Site Plan to modify outdoor dining area of restaurant (Detroit Dogs) at **200 W. Fifth St.** (parcel no. 25-21-237-007)
DDC Devco, Petitioner
D.S. Jean, LLC, Owner
Krieger-Klatt Architects, Inc., Architect

The above-referenced site plan and its associated special land use permit are scheduled for consideration by the Planning Commission at the next regular meeting. Should the Planning Commission wish to consider approval of the site plan, including all discretionary items, the Planning Division recommends the following contingencies:

1. A three-foot high metal railing shall be attached to the south front façade of the building along the base of the overhead door to prevent chairs, tables, and patrons from spilling over onto the sidewalk and blocking pedestrian traffic.
2. Stormwater run-off from the roof of the outdoor dining area shall be contained on site through the use of gutters, downspouts, etc.
3. All food preparation shall take place inside the establishment.
4. No music, intercom, or other noise shall be permitted that impacts adjacent properties.
5. All paving, utilities, and other improvements, including work within public rights-of-way, shall be in accordance with the specifications and standards of the City Engineer.
6. All exterior lighting fixtures shall comply with § 770-96 (B) of the Zoning Ordinance and other city codes and ordinances. No string lights shall be permitted.
7. All signage shall comply with the Sign Ordinance (Chapter 607 Signs, Article II Sign Regulations) or receive the necessary variances from the Planning Commission.
8. A performance bond shall be posted in an amount to be determined by the Building Official.
9. The site plan shall meet all other code and ordinance requirements, as determined by the Building Official and City Engineer, including, but not limited to, the Michigan Building Code and the city's Stormwater Detention Ordinance (Chapter 644), **prior** to issuance of **any** building or right-of-way permits.

cc: Mo Asker, DDC Devco
Ryan Kowalski, Krieger-Klatt Architects, Inc.

It is recommended that the petitioner or a representative attend the June 14, 2016 Planning Commission meeting. The meeting starts at 7:30 p.m. in the City Commission chambers on the 3rd floor of City Hall.

Detroit Dogs

Patio Renovation

200 West 5th St.
Royal Oak, MI 48067

Sheet Index:

G.001	Title Sheet
A.100	First & Lower Floor Plan
A.101	Enlarged Patio Plan & Elevations

Scope of Work:

1. Interior renovation of existing space
2. Installation of new hood
3. New mural on new brick facade
4. New signage
5. New distressed finish on existing facade
6. Relocation of existing equipment per new layout
7. Main entrance relocated to side of building

Building Code Notes:

All work is to comply w/ the 2012 Michigan Building Code, Michigan Mechanical Code, Michigan Plumbing Code & 2014 Michigan Electrical Code

Building Use:	B (Business)
Building Occupancy:	Non-Separated
Neighboring Tenants:	B (Business)
Tenant Area:	410 Sq. Ft.
Neighboring Area (Gross):	1,200 Sq. Ft.
Upstairs Area (Gross):	1,679 Sq. Ft.
Total Building Area (Gross):	3,358 Sq. Ft.
Construction Type:	3B
Sprinkled:	No
Fire Alarm System:	No
Jurisdiction City:	Royal Oak

OCCUPANCY CALCULATIONS		
* OCCUPANCY BASED ON TABLE 1004.1.1, NBC 2009		
ASSEMBLY AREAS	TOTAL (S.F.)	CALC. OCCUPANTS
DINING AREAS 15 SQ. FT. / OCCUPANT	184 SQ. FT.	13
KITCHEN / STAFF AREAS 200 SQ. FT. / OCCUPANT	386 SQ. FT.	3
TOTAL INTERIOR OCCUPANTS * USED FOR EXITING AND EGRESS CALCULATIONS		16

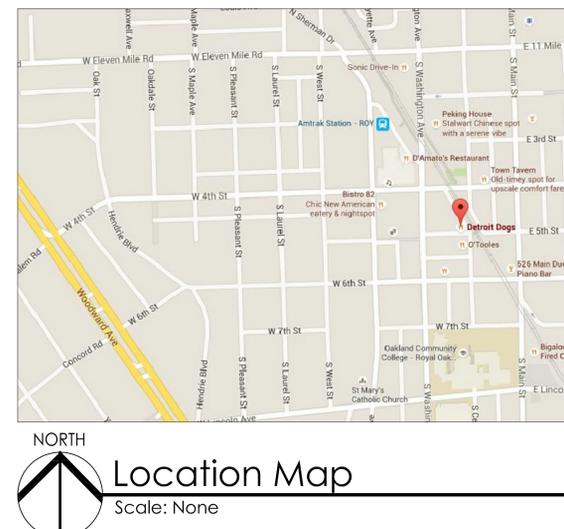


Exterior Rendering

Scale: None

Abbreviations			
A.C.T.	ACOUSTICAL CEILING TILE	FLUOR.	FLUORESCENT
A.F.F.	ABOVE FINISHED FLOOR	FIG.	FOOTING
ALUM.	ALUMINUM	G.C.	GENERAL CONTRACTOR
ANOD.	ANODIZED	GALV.	GALVANIZED
APA	AMERICAN PLYWOOD ASSOCIATION	GYP. BRD.	GYPSUM BOARD
BRD.	BOARD	HGT.	HEIGHT
C. TILE	CERAMIC TILE	INSUL.	INSULATION
CLG.	CEILING	JST.	JOIST
CPT.	CARPET	LAM.	LAMINATE
COORD.	COORDINATE	L.V.L.	LAMINATED VENEER LUMBER
CONC.	CONCRETE	MATL.	MATERIAL
DIA.	DIAMETER	MAX.	MAXIMUM
ELEC.	ELECTRICAL	MECH.	MECHANICAL
EXIST.	EXISTING	MIN.	MINIMUM
EXT.	EXTERIOR	MTD.	MOUNTED
FND.	FOUNDATION	MTG.	MOUNTING
		MTL.	METAL
		NOM.	NOMINAL
		OPNG.	OPENING
		O.C.	ON CENTER
		PLYWD.	PLYWOOD
		PLA.	POINT LOAD FROM ABOVE
		RAD.	RADIUS
		REQ'D.	REQUIRED
		SBM.	SIMILAR
		S.S.	STAINLESS STEEL
		STL.	STEEL
		TYP.	TYPICAL
		U.N.O.	UNLESS NOTED OTHERWISE
		V.C.T.	VINYL COMPOSITION TILE
		W.F.	WIDE FLANGE
		WD.	WOOD

Symbols Legend:			
	CENTER LINE		ADDENDUM
	START OF WORK		BULLETIN
	KEYED NOTE		



NORTH
Location Map
Scale: None

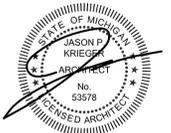
krieger klatt
ARCHITECTS
architecture interiors consulting
1412 East Eleven Mile Road, Royal Oak, MI 48067
Phone: 248.414.9270 Fax: 248.414.9275 Web: kriegerklatt.com

Client:
Detroit Dogs
200 West 5th St.
Royal Oak, MI 48067

Project:
Interior Build-Out

Issued:
05.03.2016 SPA
05.20.2016 Permits & Bids
05.23.2016 SPA

Seal:



Note:
Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

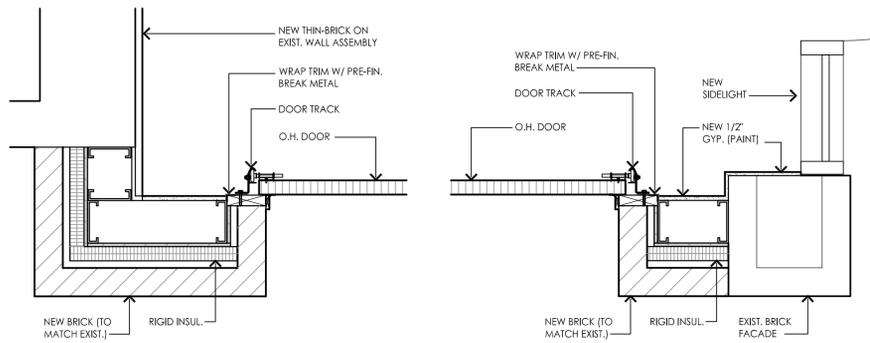
Sheet Title:
Title Sheet

Scale:
As Noted

Project Number:
16-056

Sheet Number:

G.001



D-1
A-100
Jamb Detail
Scale: 1" = 1'-0"

D-2
A-100
Jamb Detail
Scale: 1" = 1'-0"

Floor Plan General Notes:

- FIELD VERIFY EXISTING ROOF CONDITIONS AND PENETRATIONS PRIOR TO COMMENCEMENT OF WORK.
- PATCH, REPAIR AND CLEAN ALL EXISTING SUB-FLOOR AT ARCHITECTURAL DEMOLITION. UNLESS NOTED OTHERWISE, ALL DAMAGED FLOOR AREAS ARE TO BE FORMED, FILLED AND LEVELED WITH ADJACENT CONCRETE SURFACE.
- NOTIFY ARCHITECT OF ANY AND ALL DISCREPANCIES OF EXISTING CONDITIONS. THE INTENT IS TO REPAIR THE ROOF AND MAINTAIN EXISTING ADJACENT CONSTRUCTION AND MATERIALS.
- ALL FURNISHINGS ARE TO BE PROVIDED BY TENANT
- PREP. ALL WALLS FOR NEW FINISHES
- ALL NEW WALLS ARE TO RUN TO THE UNDERSIDE OF EXIST. FLOOR FRAMING
- PREP. ALL FLOORING FOR NEW FLOOR FINISH (VER. FINAL SELECTIONS W/ TENANT)
- VER. LOCATION OF SYSTEMS FURNITURE W/ TENANT (PROVIDE POWER AS REQ'D PER SPECS. - NO MORE THAN 1(2) CUBED ON A THREE CIRCUIT CLUSTER)
- VERIFY ALL POWER AND DATA LOCATIONS WITH FURNITURE SUPPLIER PRIOR TO INSTALLATION

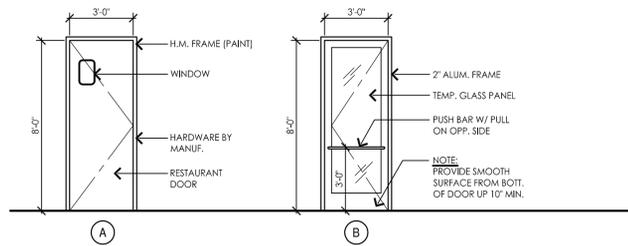
DESIGN LOADS:
FIRST FLOOR:
 LIVE LOAD: 50 PSF
 DEAD LOAD: 15 PSF
SECOND FLOOR:
 LIVE LOAD: 40 PSF
 DEAD LOAD: 10 PSF
ROOF:
 LIVE LOAD: 30 PSF
 DEAD LOAD: 15 PSF

FLOOR PLAN HEIGHT NOTES:
 1. EXIST. CEILING HEIGHT IS TO REMAIN
 2. ALL DOOR, WINDOW, AND HEADER HEIGHTS ARE TO BE MATCH EXIST. (8'-0" ± U.A./O.) NOTE: WINDOWS AND DOORS ARE TO LINE-UP IN THE FINISH. ALL ROUGH FRAMING HEIGHTS ARE TO MATCH

DEFLECTION CRITERIA:
 LIVE LOAD MAX. DEFLECTION: L/480
 TOTAL MAX. DEFLECTION: L/360
 LIVE LOAD MAX. DEFLECTION AT AREAS WITH TILE OR MARBLE FLOORING: L/720

NOTE:
 ALL ENGINEERED HEADERS, JOISTS, AND TRUSSES TO BE DESIGNED AND PROVIDED BY MANUFACTURER. CONTRACTOR IS TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES

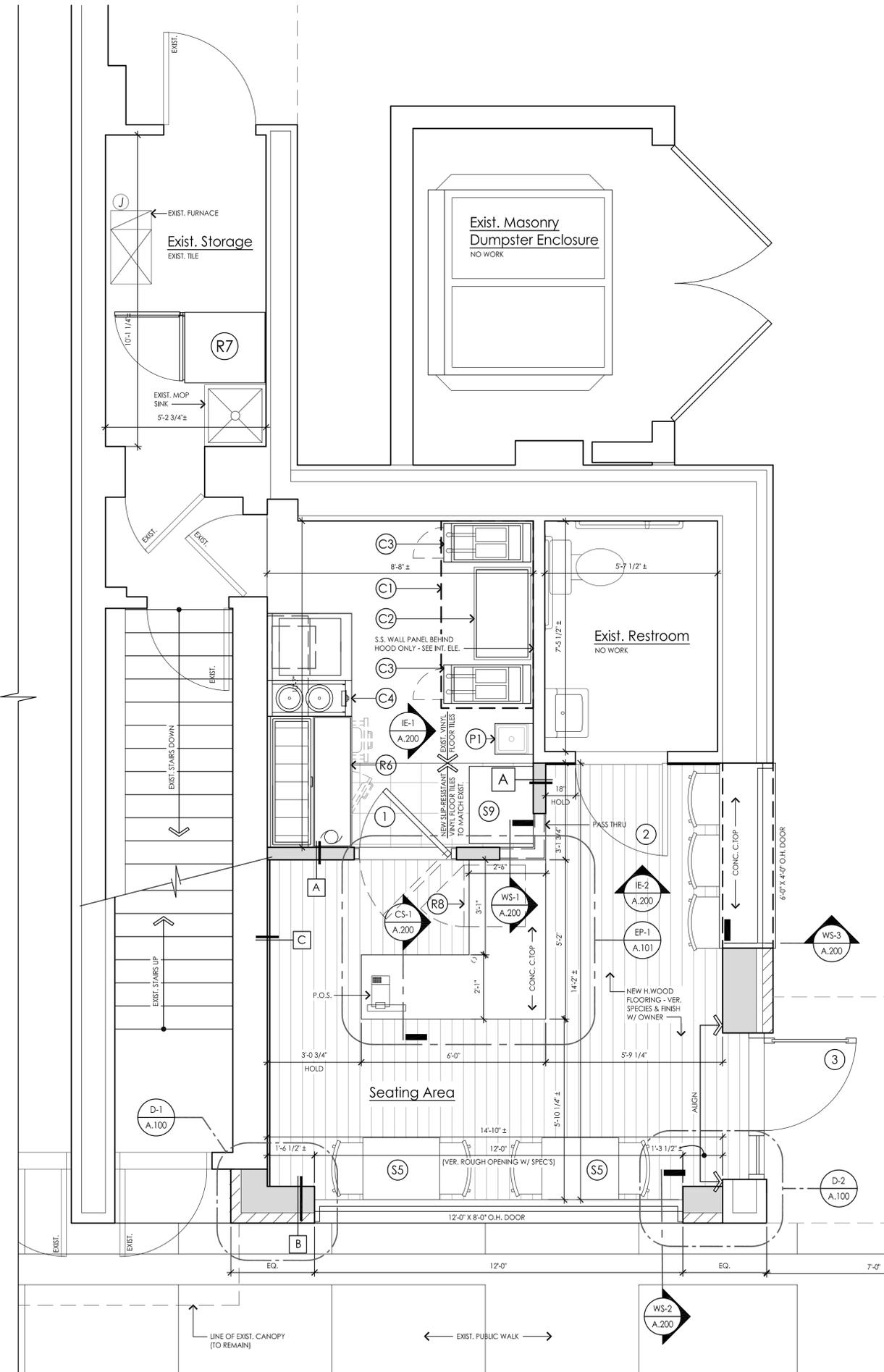
DOOR NO.	DOOR SIZE / LOCATION	DOOR			FRAME		HDWR SET	NOTES
		TYPE	MATL	FINISH	MATL	FINISH		
1	3'-0" X 8'-0" / KITCHEN	A	ALUM.	PRE-FIN.	ALUM.	PRE-FIN.	BY MANUF.	
2	EXIST. / RESTROOM	EXISTING TO REMAIN						
3	3'-0" X 8'-0" / MAIN ENTRY	B	ALUM.	DK. BRONZE	ALUM.	DK. BRONZE	BY MANUF.	
4	TEMP PATIO ENCLOSURE DOOR							



Wall Legend	
	EXISTING WALL: EXIST. EXTERIOR WALL TO REMAIN
	EXISTING WALL: EXIST. INTERIOR PARTITION TO REMAIN
A	NEW INTERIOR PARTITION: 5/8" GYP. (KITCHEN) ON 3 5/8" MTL. STUDS (20 GA. @ 16" O.C.) ON 1/2" CEMENT BRD. ON SELF-FIRRING METAL LATH ON 1/2" THICK PARGED CONC.
B	NEW EXTERIOR WALL: BRICK (TO MATCH EXIST.)
C	NEW INTERIOR FINISH: TRIM-BRICK ON EXIST. C.M.U. - VER. PAINT FINISH W/ OWNER

Equipment Schedule	
TAG	EQUIPMENT
C1	NEW 6'-0" X 3'-0" HOOD
C2	36" GAS FLAT TOP GRILL
C3	15" GAS FRYER
C4	EXIST. CHILI WARMING COMPARTMENT
S5	DOUBLE STEAM TABLE (SELECTED BY OWNER)
R6	EXIST. SANDWICH PREP. TABLE W/ COOLER
R7	EXIST. SINGLE DOOR COOLER
R8	UNDER-COUNTER REFRIGERATOR (SELECTED BY OWNER)
S9	30" X 24" S.S. TABLE
P1	12" X 15" S.S. HAND SINK W/ SIDE SPLASH GUARDS
BASEMENT	
S10	36" X 24" WIRE FRAME ADJUSTABLE SHELVING UNIT
P11	3 COMPARTMENT SINK
P12	GREECE TRAP
R13	TWO-DOOR REFRIGERATOR
R14	TWO-DOOR FREEZER

NOTE: ALL NEW EQUIPMENT IS BEING SUPPLIED BY THE TENANT. GENERAL CONTRACTOR IS TO VERIFY MECHANICAL, PLUMBING AND ELECTRICAL REQUIREMENTS AND HOOK UPS.
 (*) WIRE THRU CONTACTORS FOR POWER SHUT DOWN FOR ALL EQUIPMENT UNDER THE KITCHEN HOODS



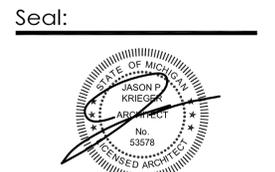
First Floor Plan
Scale: 1/2" = 1'-0"

krieger klatt
ARCHITECTS
architecture interiors consulting
1412 East Eleven Mile Road, Royal Oak, MI 48067
Phone: 248.414.9270 Fax: 248.414.9275 Web: kriegerklatt.com

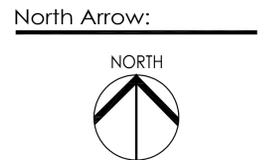
Client: Detroit Dogs
200 West 5th St.
Royal Oak, MI 48067

Project: Interior Build-Out

Issued:
05.03.2016 SPA
05.20.2016 Permits & Bids
05.23.2016 SPA



Note: Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.



Sheet Title: First Floor Plan & Schedules

Scale: As Noted

Project Number: 16-056

Sheet Number: A.100

Client:
 Detroit Dogs
 200 West 5th St.
 Royal Oak, MI 48067

Project:
 Interior Build-Out

Issued:
 05.03.2016 SPA
 05.20.2016 Permits & Bids
 05.23.2016 SPA

Seal:



Note:
 Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:



Sheet Title:
 Enlarged Patio Plan & Elevations

Scale:
 As Noted

Project Number:
 16-056

Sheet Number:

A.101

