

MEMORANDUM

Community Development Department
City of Royal Oak, Michigan

Meeting Date: June 14, 2016
211 Williams St. / P.O. Box 64
Royal Oak, MI 48068-0064
Phone: (248) 246-3280
Fax: (248) 246-3005
www.romi.gov

DATE: May 26, 2016

TO: Planning Commission

FROM: Planning Division

SUBJECT: SP 16-06-16 – Site Plan to construct new accessory structure for financial office (RWS Financial) at **1918 N. Main St.** (parcel no. 25-10-351-034)
RWS Financial, Petitioner & Owner
Krieger-Klatt Architects, Inc., Architect

The above-referenced site plan is scheduled for consideration by the Planning Commission at the next regular meeting. Should the Planning Commission wish to consider approval of the site plan, including all discretionary items, the Planning Division recommends the following contingencies:

1. The accessory structure shall have minimum north and south side yard setbacks of 10 feet and a minimum east rear yard setback 15 according to § 770-38 (D)(2)(b) and (c) of the Zoning Ordinance, unless alternative setbacks are determined necessary and advisable by the Planning Commission according to subparagraph (D)(2)(d) of that same Zoning Ordinance section.
2. Stormwater run-off from the roof of the accessory structure shall be contained on site through the use of gutters, downspouts, etc.
3. Compliance with the previous site plan approval shall be maintained including all required contingencies (SP 14-10-23).
4. All paving, utilities, and other improvements, including work within public rights-of-way, shall be in accordance with the specifications and standards of the City Engineer.
5. All exterior lighting fixtures shall comply with § 770-96 (B) of the Zoning Ordinance and other city codes and ordinances.
6. All signage shall comply with the Sign Ordinance (Chapter 607 Signs, Article II Sign Regulations) or receive the necessary variances from the Planning Commission.
7. A performance bond shall be posted in an amount to be determined by the Building Official.
8. The site plan shall meet all other code and ordinance requirements, as determined by the Building Official and City Engineer, including, but not limited to, the Michigan Building Code and the city's Stormwater Detention Ordinance (Chapter 644), **prior** to issuance of **any** building or right-of-way permits.

cc: Rocco Scarsella, RWS Financial
Ryan Kowalski, Krieger-Klatt Architects, Inc.

It is recommended that the petitioner or a representative attend the June 14, 2016 Planning Commission meeting. The meeting starts at 7:30 p.m. in the City Commission chambers on the 3rd floor of City Hall.

Client:
RWS Financial
 1918 N Main St., Royal Oak, MI 48073

Project:
New Garage

Issued:
 05/03/2016 Site Plan Approval
 05/23/2016 Site Plan Approval

Seal:



Note:
 Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:



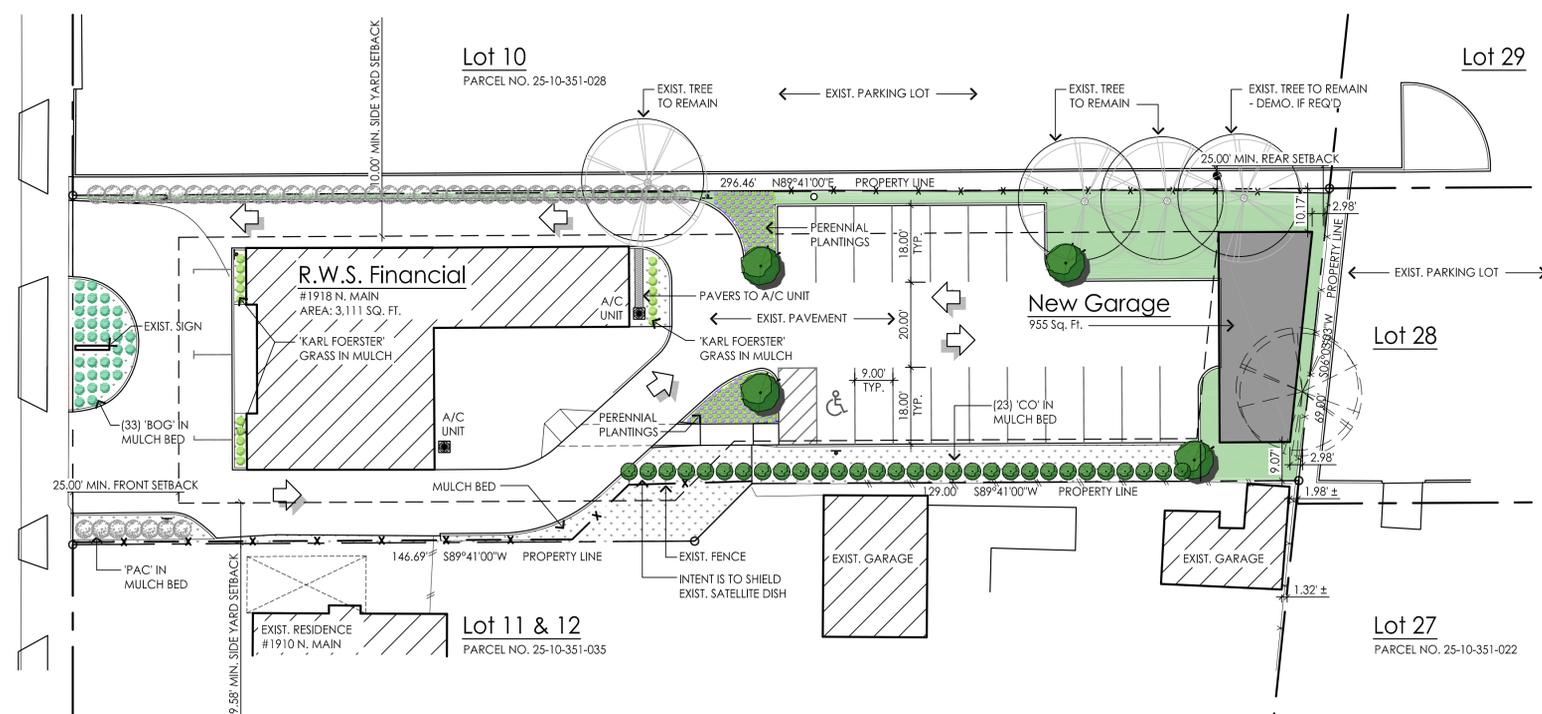
Sheet Title:
Architectural Site Plan

Scale:
 1" = 20'-0"

Project Number:
 14-048

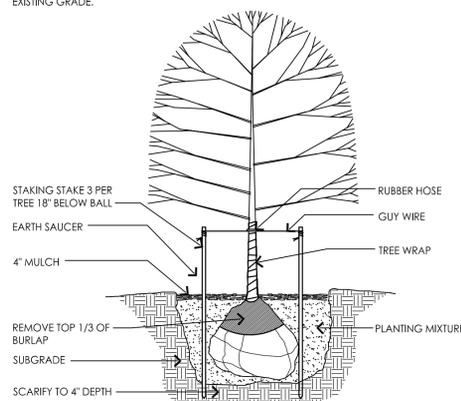
Sheet Number:

C.100

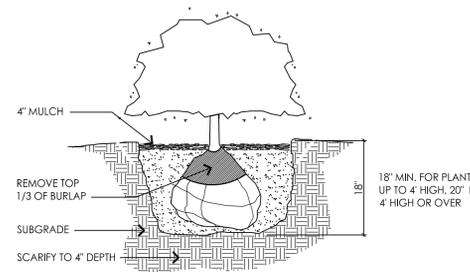


Architectural Site Plan
 Scale: 1" = 20'-0"

- CUT BACK BRANCH SYSTEM AT 25% NEVER CUT LEADER.
- TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE TO PREVIOUSLY EXISTING GRADE.



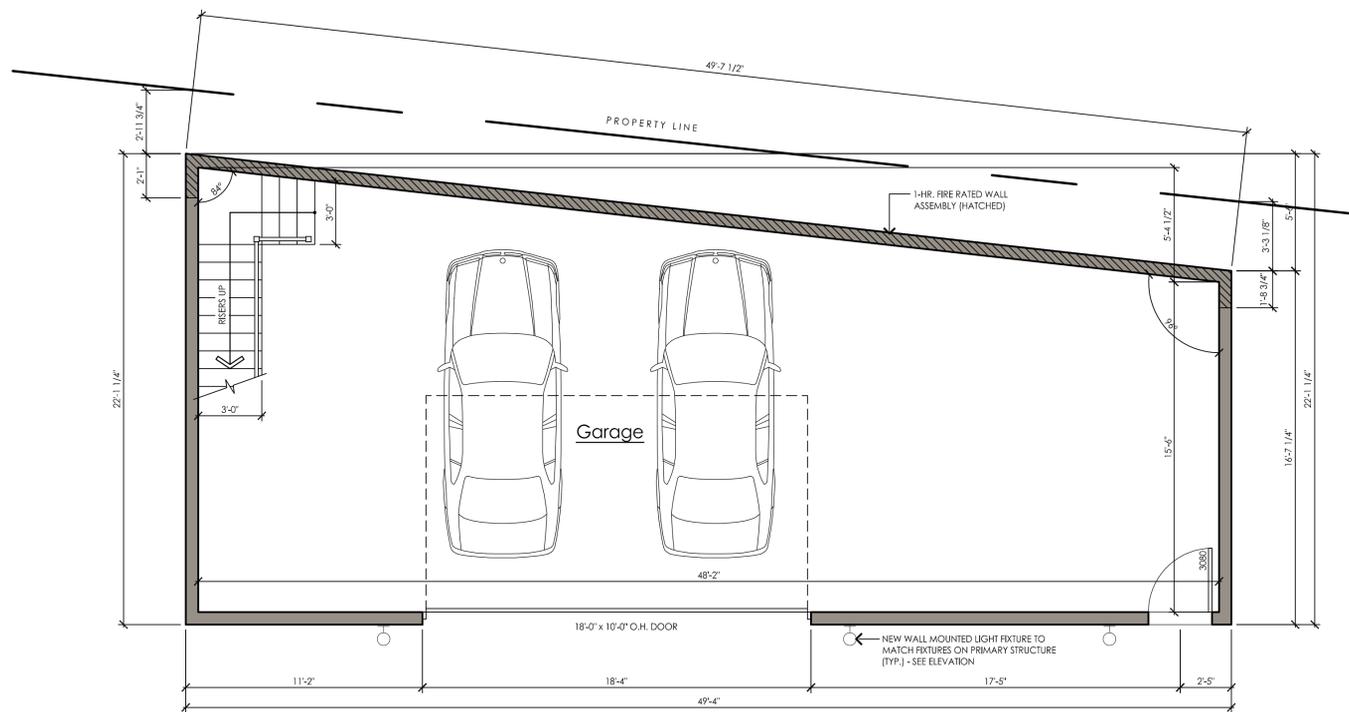
Canopy Tree Planting Detail



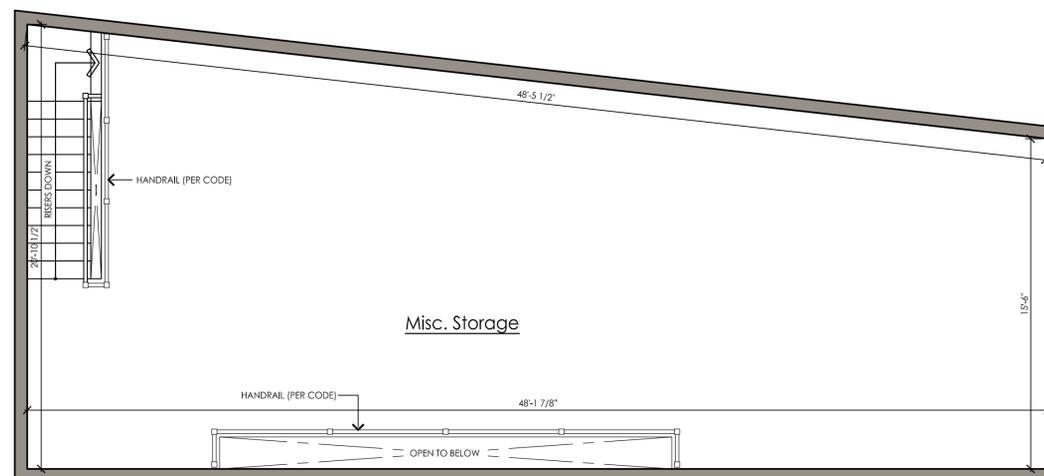
Shrub Planting Detail

Planting Legend			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXISTING TREE		SOD LAWN LANDSCAPE
	PROPOSED FLOWERING PEAR TREE (FPT)		EXISTING BUILDING
	PROPOSED CONCRETE		BUILDING ACCESS
	PROPOSED PLANTINGS (SEE PLAN)		PROPOSED GROUND COVER
	PROPOSED MULCH		PROPOSED PLANTINGS (SEE PLAN)

Landscape Legend				
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
JSB	12	Berberis thurgentii	Crimson Pygmy Barberry	24" spr., 3 gal. pot
FPT	4	Pyrus Calleryana	Flowering Pear Tree	1 gal. pot, 30" o.c.
BOG	33	Helictotrichon sempervirens	Blue Oat Grass	2'-3' spread
CO	23	Juniperus scopulorum 'ColoGreen'	ColoGreen Juniper	15'-20' tall
FFR	15	Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Feather Reed Grass	1 1/2' - 2' spread
PAC	N/A	Pachysandra Terminalis	Pachysandra	N/A



First Floor Plan
Scale: 1/4" = 1'-0"



Second Floor Plan
Scale: 1/4" = 1'-0"

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North Arrow:



Sheet Title:
Floor Plans

Scale:
1/4" = 1'-0"

Project Number:
14-048

Sheet Number:

A.100

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North Arrow:

Sheet Title:
Elevations

Scale:
 1/4" = 1'-0"

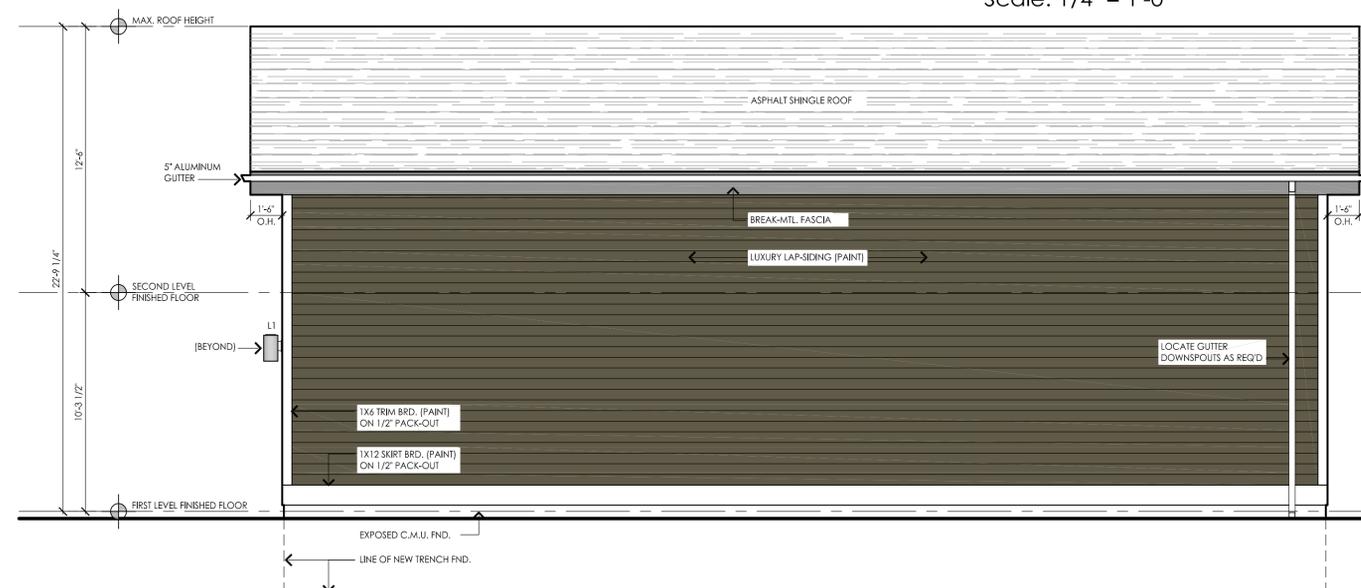
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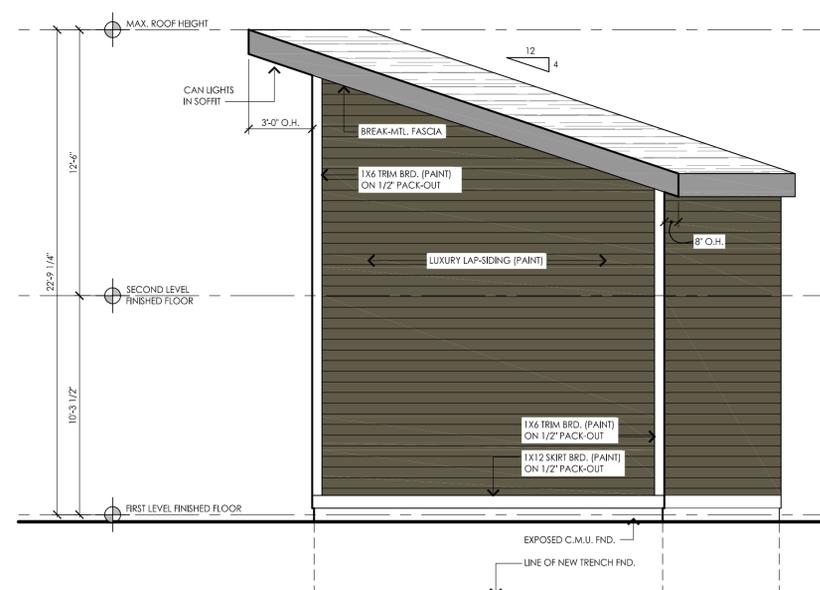
A.200



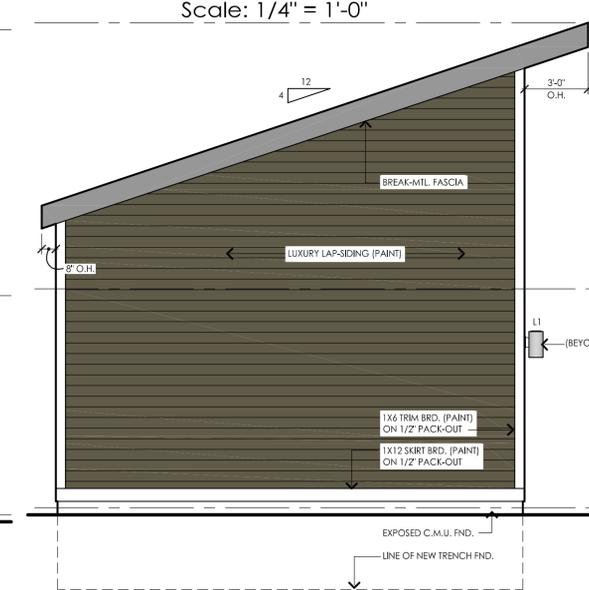
West Elevation
 Scale: 1/4" = 1'-0"



East Elevation
 Scale: 1/4" = 1'-0"



South Elevation
 Scale: 1/4" = 1'-0"



North Elevation
 Scale: 1/4" = 1'-0"



Wall Mounted Light Fixture - "L1"

Make: Atlantic
 Series: Architectural 8"x15" LED
 Model: SLED815
 Lamp: LED
 Height: 8'-0" A.F.G. to midpoint
 Location: As shown on plan & elevations